



City of Waupun

201 E. Main Street

Phone: 920-324-7917

Fax: 920-324-7939

"Wild Goose Center of Wisconsin"

September 9, 2015

TO: Plan Commission Members
FROM: Mayor, Kyle Clark
SUBJECT: Plan Commission meeting scheduled for **Wednesday, September 16, 2015, at 4:45 p.m.** in the Council Chambers, City Hall, Waupun.

AGENDA

1. Call to Order
2. Roll Call
3. Approve minutes of the August 19, 2015 meeting.
4. Public Hearing - Conditional Use Permit for Home Occupation at 217 Brandon St (see attached public hearing notice for details).
5. Public Hearing – Conditional Use Permit for a sign at Pella Lutheran Church at 315 S Madison St. (see attached public hearing for details).
6. Discuss / Approve Site Plan for Waupun Memorial Hospital
7. Discuss Ordinance for Billboard signs.
8. Adjournment

Cc: Mayor & Common Council
City Attorney
Department Managers
Media
Susan Leahy
Flyway Signs
Pella Lutheran Church
Penny Behm
Scott Gosnell, Zimmerman Architectural Studios Inc

It is possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any other governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

Please note that, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service contact Angie Hull, City Clerk at 920-324-7900.

CITY OF WAUPUN
PLAN COMMISSION
MINUTES OF THE AUGUST 19, 2015 MEETING
(**DRAFT**)

1. Call to Order:

The Plan Commission met at 4:45 p.m. in the Council Chambers, City Hall, Waupun.

2. Roll Call:

Members Present: Nancy Vanderkin, Fred Lueck, Dick Flynn, Jerry Medema, and Derek Drews,
Member Excused: Kyle Clark and Elton TerBeest
Staff Present: None

3. Acting Chairman Vanderkin called for the approval of the minutes of the July 15, 2015 meeting. Motion by Flynn, seconded by Medema to approve the minutes of the July 15, 2015 meeting as presented. Motion carried, unanimously, minutes approved 5/0.

Acting Chairman Vanderkin asked that agenda items 5 and 8 be taken up first as Deputy Police Chief, Scott Loudon and Fire Inspector, Mike Beer are in attendance to discuss these items and no citizens are present for the other agenda items at this point in the meeting.

5. Public Hearing – Amend Chapter 16.15(1). Enforcement and Penalties of the City Zoning Code. Acting Chairman Vanderkin read the call of the hearing and its purpose. No Zoning Administrator staff report was provided to the Plan Commission prior to or during the hearing. Deputy Chief Scott Loudon and Fire Inspector Mike Beer appeared and recommended the revisions to the Code as reviewed and approved by the City Attorney.

Lueck had several questions regarding the proposed Code Amendment. He notes that Section 1, Section 16.15(1) indicates that the Building Inspector, acting in the capacity of the Zoning Administrator in cooperation with the Police Chief, Fire Chief and other code enforcement officials shall enforce this ordinance as follows: (a) Issue permits and inspect properties with this chapter and issue certificate of compliance when appropriate and (f) _____ “they shall have the right at all reasonable times to enter buildings and premises.” Lueck wonders whether the Police Chief, Fire Chief and other zoning officials will actually be able to issue Zoning permits. He questions whether such actions are actually part of their respective job descriptions. In addition he questions whether under paragraph (f) if it is legal for zoning staff to enter a property or building without the property owners permission, as this may constitute trespassing without a warrant. Generally a person who applies for a permit would be informed that a zoning staff member may inspect their property in order to confirm compliance with the code. In addition you should not go into someone’s building without them being on the premises with you. Lueck indicated he had been following a lawsuit in northern Wisconsin where the zoning staff was sued for entering a property without the owners consent. Officer Beer said as a Police Officer he has the authority to enter someone’s property. Lueck said without the zoning administrator in attendance or the City Attorney being present to answer his questions he could not vote on this amendment.

No further facts were presented for or against this Code Amendment so Acting Chairman Vanderkin declared the hearing closed.

Motion by Medema, seconded by Flynn to send a favorable recommendation to the City Council on the proposed Section 1, Section 16.15 of the Municipal Code of the City of Waupun entitled "Enforcement & Penalties".

Vote: Drews, Medema, Flynn, Vanderkin – "AYE"

Lueck – Abstain

Motion carried, 4/0/1

Acting Chairman Vanderkin asked that Agenda item 8 be taken up next.

8. Discuss Section 16.01(11)(i) Recreational Vehicle Parking – Deputy Chief Loudon and Fire Inspector Beer appeared and indicated that the present code provision is very difficult to enforce. In most cases they can't get sufficient evidence or proof to go to court as people can move such vehicles on a daily basis to skirt the code. They provided excerpts from other City ordinances dealing with recreational vehicles for the commissions review.

The question is does the City want to continue enforcing such a code which is more or less a quality of life issue. If so, maybe the Cities code should be revised.

The committee suggested that Deputy Chief Loudon and Fire Inspector Beer check with the City Attorney and bring back some changes to the code that they think can be enforced and stand up in court. The committee would then review it and then set up the necessary public hearing to revise the code provisions and send it to Council for approval.

Acting Chairman Vanderkin suggested the committee now go back to Agenda item 4.

4. Public Hearing – Rezoning Petition – City of Waupun – Mayfair Estates. Acting Chairman Vanderkin read the call of the hearing and its purpose. No staff report was prepared by the Zoning Administrator for the hearing.

Richard Flynn indicated the present zoning maps shows the area proposed for lots 2-21 of the Preliminary Plat of Mayfair Estates is shown as in a PCD district and the City proposed this area be included in an R-2, Two Family zoning district for future development. Lueck believes the PCD was inadvertently placed on the map as a zoning district when in fact a PCD is really a recorded document that can be included in several Zoning Districts for a variety of developments.

No one appeared at the public hearing to discuss the proposed rezoning so Acting Chairman Vanderkin declared the hearing closed.

Motion by Medema, seconded by Drews to send a favorable recommendation to the City Council on the rezoning of Lots 2-21 of the proposed Preliminary Plat of Mayfair Estates lands being Lot 1 of CSM #6812 as recorded in Vol. 46 of Certified Surveys on Pages 201-204 in the Dodge County Register of Deeds Office and being part of the SW ¼ of the SW ¼ and part of the SE ¼ of the SW ¼ of Section 4, Township 13 North, Range 15 East, City of Waupun, Dodge County. Motion carried, unanimously.

6. Discuss / Approve Site Plan for Pine Street Park Shelter. The shelter would be an open structure in the shape of a hexagon at the intersection of Harmsen Ave. and Pine St. No staff report was provided to the committee by the Zoning Administrator therefore it is believe the shelter will

meet all yard and setback requirements of the City Zoning Ordinance including the vision corner at this intersection.

Motion by Flynn, seconded by Drews to approve the site plan for a new open park shelter at the intersection of Pine St. and Harmsen Ave. as presented. Motion carried, unanimously.

7. Discuss / Approve Preliminary Plat for Mayfair Estates and to include the naming of the East-West Street within the Plat.

A consensus of the committee is to name the proposed East-West street within the proposed Preliminary Plat of Mayfair Estates "Seymour St."

Motion by Lueck, seconded by Drews to name the East-West Street in the Preliminary Plat of Mayfair Estates "Seymour St." Motion carried, unanimously.

Motion by Medema, seconded by Lueck to approve the Preliminary Plat of Mayfair Estates located in Part of the SW 1/4 , SW 1/4 and part of the SE 1/4 SW 1/4 Section 4, Township 13 North, Range 15 East. City of Waupun, Dodge County, Wisconsin. Motion carried, unanimously.

9. Motion by Lueck, seconded by Medema to adjourn the meeting, motion carried, meeting adjourned at 5:23 pm.

Fred Lueck
Secretary



City of Waupun

201 E. Main Street

WAUPUN, WISCONSIN 53963

Phone: 920-324-7900

Fax: 920-324-7939

"Wild Goose Center of Wisconsin"

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be held in the Council Chambers in the City Hall of the City of Waupun on Wednesday the 16th day of September, 2015 at 4:45 o'clock in the P.M., there will be considered the application for a Conditional Use Permit of:

1. Penny Behm at 217 Brandon St. to operate a 330 SF retail store in the 1st floor of her home with services such as gift wrapping, printing/copying, mailing/shipping being available per section 16.13 of the Waupun Municipal Code.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must appear at the said meeting of the Plan Commission of the City of Waupun.

Dated this 4th day of September, 2015

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH September 9, 2015)

Fee: \$150.00 Paid: Cash Date: 9/4/15



CITY OF WAUPUN
201 E. Main Street
WAUPUN, WISCONSIN 53963

Conditional Use Permit Application

From: Penny's Stars and Stripes General Store
(business name or individual)

Property Description and address:

217 Brandon St., Waupun (directly across from the windmill in Heritage Park)

Conditional Use Requested:

retail store in my home with services provided (gift wrapping, printing/copying, mailing/shipping)

Zoning Ordinance Section Involved:

Date Presented to Plan Commission: Sept. 16, 2015

CONDITIONAL USE: Granted Denied

Comments:

Signature of Applicant (s)

Danny Behm

City of Waupun
Home Occupation Application

Date: 9/4/15

Applicant: Penny Behm

Phone: (920)763-4076

Address: 217 Brandon St.

City: Waupun State: WI Zip: 53963

Address of proposed Home Occupation: 217 Brandon St., Waupun

Name of proposed business: Penny's Stars and Stripes General Store

Location of proposed Home Occupation in residence (living room, bedroom, basement, etc):
living room

Total square footage of residence devoted to home occupation: 330 sq. ft.

Type of equipment to be used in the home occupation: computer, safe, smart phone, printer/copier, scale, shelves, tables.

Size and type of signs advertising the home occupation 2'x2' square sign (aluminum double-sided) by road, & window clings (maybe)

Number of resident employees 1 Number of nonresident employees 0

Description of proposed Home Occupation and services to be provided:

Home goods store with candy for sale, and printing/copying services, as well as (hopefully) post office services: I offer gift wrapping, and (hopefully) shipping services.

Signature of applicant(s) Penny Behm



City of Waupun

201 E. Main Street

WAUPUN, WISCONSIN 53963

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NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be held in the Council Chambers in the City Hall of the City of Waupun on Wednesday, the 16th day of September, 2015 at 4:45 o'clock in the P.M., there will be considered the application for a Conditional Use Permit of:

1. Pella Lutheran Church, 315 S. Madison St., to replace their sign with an electronic message center sign, per Municipal Code Section 16.11(4)(Type 1).

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must appear at the said meeting of the Plan Commission of the City of Waupun.

Dated this 4th day of September, 2015

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH September 9, 2015)

Fee: \$150.00

Paid: # 19794

Date: 8-28-15



CITY OF WAUPUN
201 E. Main Street
WAUPUN, WISCONSIN 53963

Conditional Use Permit Application

From: Flyway Signs on behalf of Pella Lutheran Church
(business name or individual)

Property Description and address:

Pella Lutheran Church
315 S. Madison Street

Conditional Use Requested:

Pella is requesting a permit to replace their
changeable copy board sign with an electronic
message center sign. Please see the attached
layout for the size and design.

Zoning Ordinance Section Involved:

R-5 16.11 (4) (Type 1)

Date Presented to Plan Commission:

TBD

CONDITIONAL USE: Granted Denied

Comments:

Signature of Applicant (s)

Lauren Halachne



(920) 921-7181
1-800-201-7553
Fax: (920) 921-8129
e-mail: info@flywaysigns.com

N5528 MIRANDA WAY • FOND DU LAC, WI 54937

August 28, 2015

City of Waupun
201 E. Main St.
Waupun, WI 53963

On behalf of our client, Pella Lutheran Church, we are requesting a sign permit to replace their existing changeable copy board sign with an electronic message center (EMC). Pella Lutheran Church is located at 315 S. Madison Street.

The existing changeable copy board sign is 4' x 10. The approximate size of the proposed electronic sign is 4' x 8'.

The members of Pella Lutheran Church plan to use this sign to share information about their services and events, as well as share community information.

Thank you in advance for your time and consideration. If you have any questions or need further information, please contact me at 920-921-7181 or by email at lauren@flywaysigns.com.

Sincerely,

Lauren Herlache
Account Manager
Flyway Signs

Building Inspector

From: Lauren Herlache <lauren@flywaysigns.com>
Sent: Friday, August 28, 2015 4:10 PM
To: Building Inspector
Cc: 'Canniffs'; 'Calvin Landaal'
Subject: Conditional Use Permit - Pella Lutheran Church 315 S. Madison
Attachments: Existing Sign.PNG; Proposed Sign Layout.pdf; Cond. Use Permit Application.pdf; Letter for Sign for Pella Lutheran.pdf

Hi Sue,

I am attaching a conditional use permit application for replacing the changeable copy sign with an electronic message center at Pella Lutheran Church, located at 315 S. Madison Street. I have also attached a layout of the proposed sign, a photo of the existing sign and a letter.

Please advise on the next step(s), and where payment for the fee should be sent. If you have any questions, please call me at 920-933-0591 or send an email.

Also cc'd on this email are my clients, Terry Canniff and Calvin Landaal of Pella Lutheran Church.

Thank you in advance!



Lauren Herlache

N5528 Miranda Way, Fond du Lac, WI 54937
Office: 920.921.7181 • Fax: 920.921.8129
www.flywaysigns.com

Building Inspector

From: Lauren Herlache <lauren@flywaysigns.com>
Sent: Friday, August 28, 2015 4:37 PM
To: Building Inspector
Cc: Terry Canniff
Subject: Sign Content - Pella Lutheran

Sue,

I have a question that I'm hoping you can help answer, or direct me to the right person. This is in regard to the electronic sign that I submitted a conditional use permit application for on behalf of Pella Lutheran. Pella is a designated disaster relief area, and my clients would like to know if they will be able to use the sign to run content related to disaster relief (in the event of a disaster), or if the City would have an objection to it. My clients would like to offer it as a tool for the community in a disaster situation.

I have cc'd Terry Canniff from Pella on this email as well.

Thank you!



Lauren Herlache

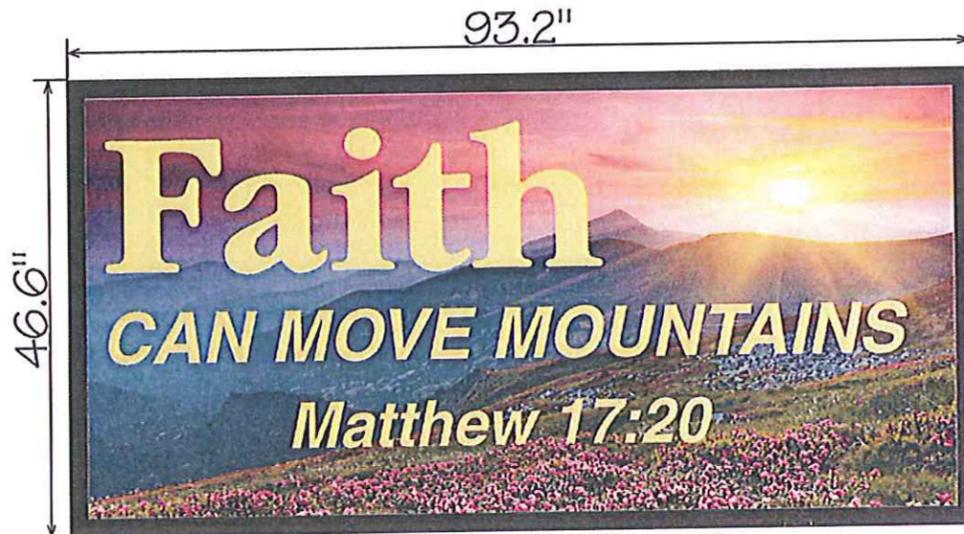
N5528 Miranda Way, Fond du Lac, WI 54937
Office: 920.921.7181 • Fax: 920.921.8129
www.flywaysigns.com



PELLA
LUTHERAN CHURCH

I H H PRESCHOOL OPEN HOUSE
TUESDAY AUGUST 4 5:30-7:00 PM
OPEN REGISTRATION 3-4 YEAR OLDS
WORSHIP SERVICES
SUNDAY - 9 AM

IN HIS HANDS
PRESCHOOL



16ml 64x144

APPROVED BY: _____

DATE: ____/____/2015

© 2015 FLYWAY SIGNS
A DIVISION OF FLYWAY INC.

Specifications

- Qty: 1 EMC
- 16ml 64x144
- Double Sided



921-7181
1-800-201-7553
Fax: (920) 921-8129 • e-mail: info@flywaysigns.com
N5528 Miranda Way, Fond du Lac, WI 54937
www.flywaysigns.com



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CUSTOMER REPRESENTATIVE: <i>Lauren</i>		TITLE: Pella Lutheran Church	
DRAWN BY: <i>Becca</i>		DATE: 08.28.2015	SCALE: NTS
DRAWN FILE NAME: 39052 Layout EMC		DRAWN REV#: 2	
PROJECT DESCRIPTION: Layout for Approval			

Cindy Mielke

From: Lauren Herlache <lauren@flywaysigns.com>
Sent: Monday, August 31, 2015 3:03 PM
To: Cindy Mielke
Subject: Fwd: Conditional Use Permit - Pella Lutheran Church 315 S. Madison

Cindy can u please write a check and Mail it-- see below. For the pella job I just wrote. Thanks!

Lauren Herlache

Sent from my iPhone

Begin forwarded message:

From: Building Inspector <inspector@cityofwaupun.org>
Date: August 31, 2015 at 2:27:14 PM CDT
To: Lauren Herlache <lauren@flywaysigns.com>
Subject: RE: Conditional Use Permit - Pella Lutheran Church 315 S. Madison

Lauren,

I have received all the information. Please submit a check for \$150 to:

City of Waupun
201 East Main Street
Waupun, WI 53963.

We should be able to get this on the Planning Commission Agenda for September.

Meeting date: Wednesday, September 16th @ 4:45 pm

Once the CUP is approved at Planning Commission, I can issue the sign permit.

Thanks

Sue

From: Lauren Herlache [<mailto:lauren@flywaysigns.com>]
Sent: Friday, August 28, 2015 4:10 PM
To: Building Inspector
Cc: 'Canniffs'; 'Calvin Landaal'
Subject: Conditional Use Permit - Pella Lutheran Church 315 S. Madison

Hi Sue,

I am attaching a conditional use permit application for replacing the changeable copy sign with an electronic message center at Pella Lutheran Church, located at 315 S. Madison Street. I have also attached a layout of the proposed sign, a photo of the existing sign and a letter.

Consultant:

Project:
A NEW O2 FARM FOR WAUPUN MEMORIAL HOSPITAL

Location:
 620 W BROWN STREET
 WAUPUN, WI 53963

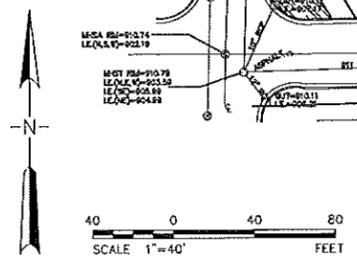
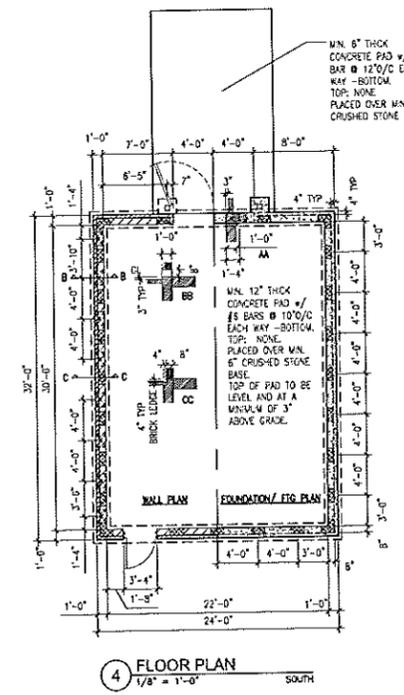
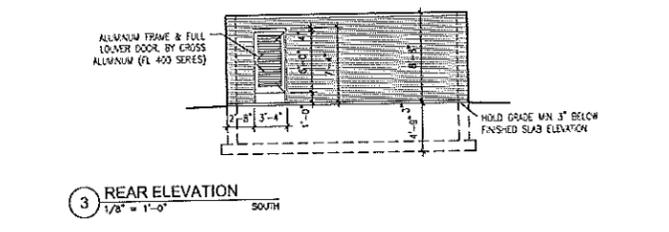
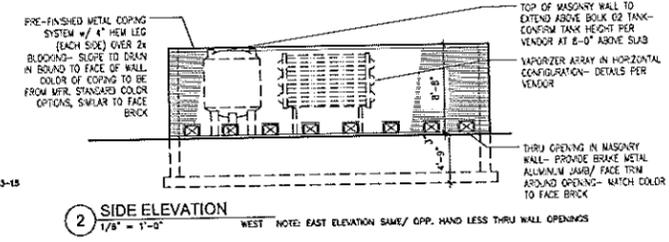
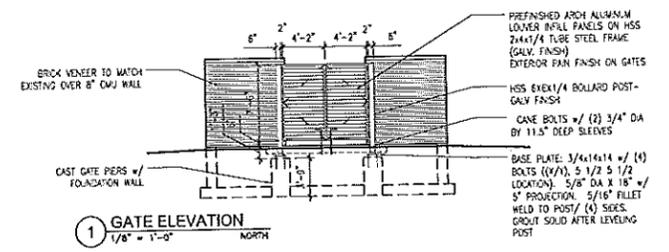
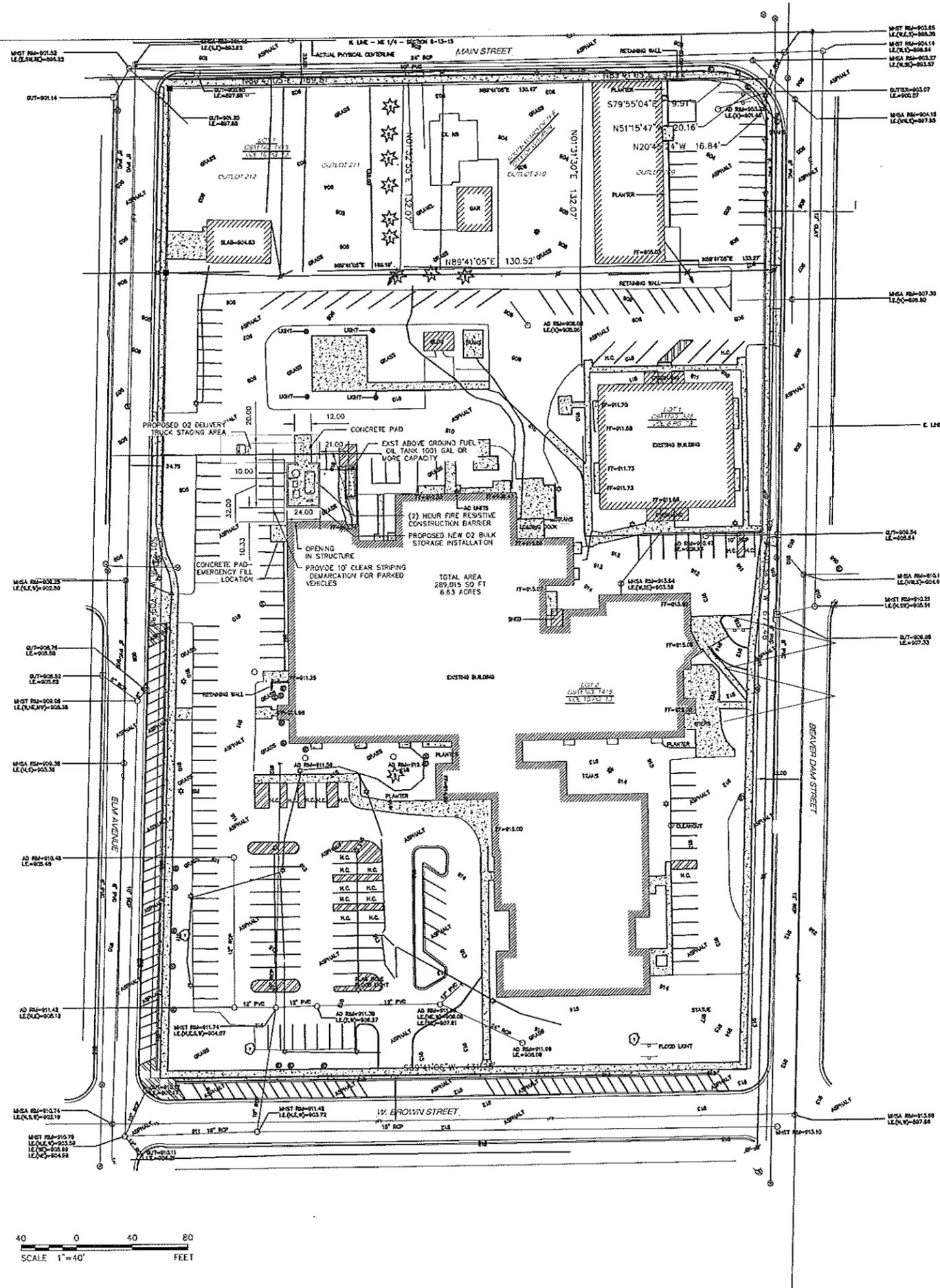
Sheet:
O2 FARM PLANS

Scale:
VARIES

Revisions:

No.	Date	Description

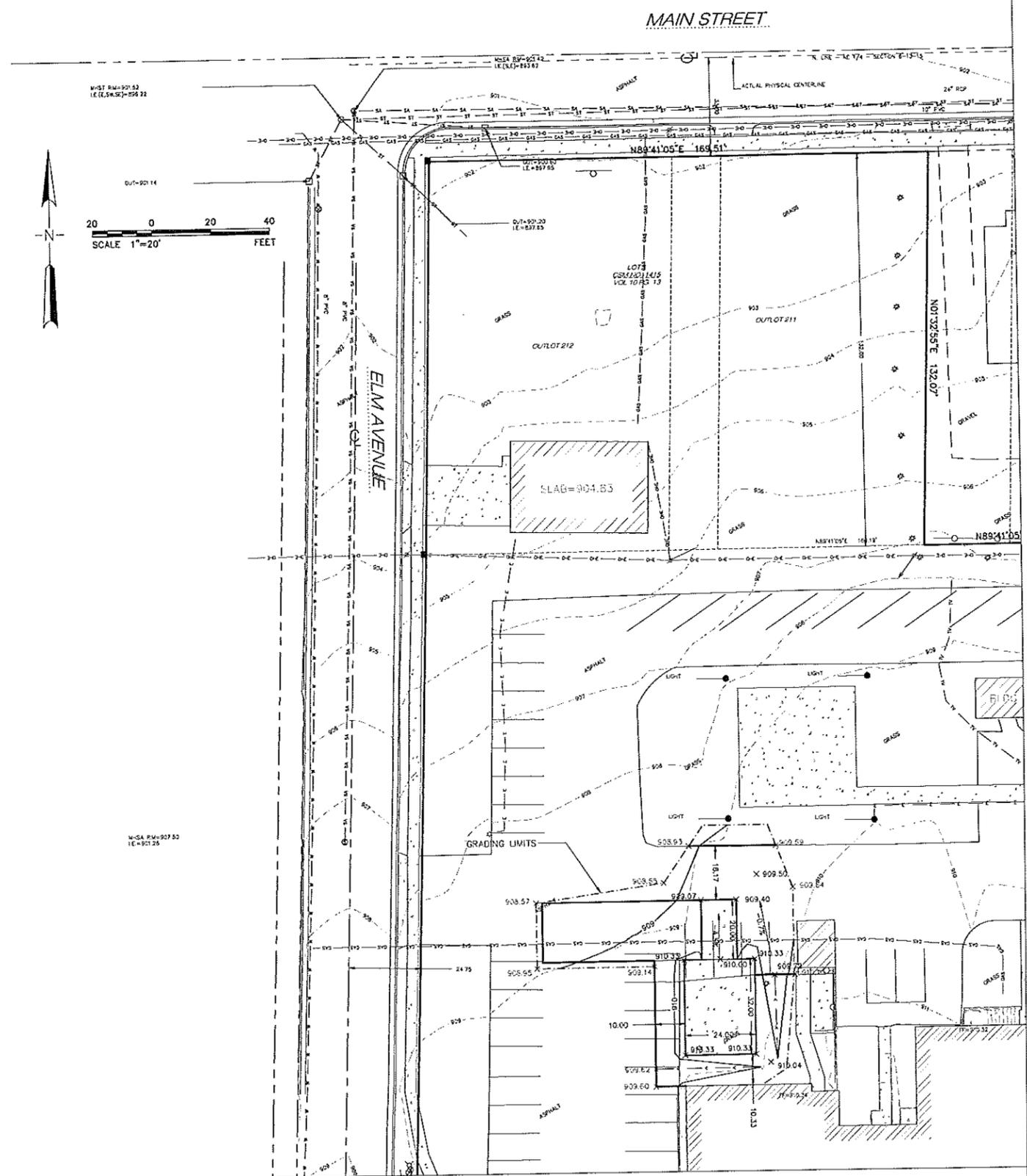
Date:
 9/4/15
 Project No:
 140108.03
 Sheet No:



LEGEND

- IRON PIPE FOUND IN PLACE
 - ▲ REBAR FOUND IN PLACE
 - PK NAIL FOUND IN PLACE
 - ⊙ 2" IP FOUND IN PLACE
 - ⊕ WATER VALVE
 - ⊕ WATER SERVICE VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ STORM SEWER MANHOLE
 - CURB TYPE INLET
 - ⊕ ROUND TYPE INLET
 - ⊕ POWER POLE & GUY WIRE
 - ⊕ POWER POLE
 - ⊕ UTILITY PEDESTAL
 - ⊕ LIGHT POLE
 - ⊕ ELECTRICAL MANHOLE
 - ⊕ GAS SERVICE METER
 - ⊕ SIGN
 - ⊕ DECIDUOUS TREE 6" IN DIAMETER OR LARGER
 - ⊕ CONIFEROUS TREE 6" IN DIAMETER OR LARGER
 - ⊕ BUSH
 - FF FIRST FLOOR ELEVATION AT BUILDING ENTRANCES
- PROPOSED GROUND CONTOURS
 - - - EXISTING GROUND CONTOURS
 - OVERHEAD ELECTRIC
 - GAS SERVICE
 - WATER MAIN/SERVICE
 - UNDERGROUND ELECTRIC
 - SANITARY SEWER
 - STORM SEWER
 - EX. CONCRETE CURB & GUTTER
 - EDGE OF PAVEMENT
 - - - EASEMENT LINE
 - - - SETBACK LINE
 - TREE LINE
 - CHAIN LINK FENCE
 - WOODEN FENCE


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8511
 TOLL FREE
 TELEFAX (414) 259-0947
 TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289
 WISCONSIN STATUTE 182.0175 (1974)
 REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



DRAWN BY <u>MLA</u> CHECKED BY <u>ERO</u> APPROVED BY <u>ERO</u>	SCALES HORIZONTAL <u>1"=20'</u> VERTICAL <u>NA</u>	PROJECT NO. <u>711.023</u> DATE <u>9/4/2015</u>	REVISIONS _____ _____ _____	BENCH MARK SE BOLT ON LIGHTPOLE BASE ON NORTH SIDE OF SOUTH ENTRANCE ELEV. 912.19	DATUM NAVD '88 <input checked="" type="checkbox"/> ASSUMED <input type="checkbox"/> CITY <input type="checkbox"/> PROJECT <input type="checkbox"/>	DRAINAGE/SITE PLAN O2 FARM WAUPUN MEMORIAL HOSPITAL CITY OF WAUPUN, DODGE COUNTY, WISCONSIN	A.J.E. ARTHUR AND ASSOCIATES, INC. ENGINEERS SURVEYORS <small>548 PRAIRIE ROAD FOND DU LAC, WISCONSIN 54601 PHONE: 923.923.5703</small>
SHEET 1 OF 1 SHEETS FILE NO. 711-11-15009							

Supplemental Instructions

MASONRY:

PROVIDE HORIZONTAL JOINT REINFORCING AT CMU WALLS @ 16" O/C VERT.

'DUR-O-WALL' TRUSS TYPE OR EQ.

MASONRY PIERS: 16" LENGTH w/ (2) #5

VERTICAL BAR REINFORCEMENT. PROVIDE

DOWELS OF SAME SIZE AND NUMBER AS

VERTICAL REINFORCEMENT AT FOUNDATION.

LAP/ STANDARD ACI HOOK INTO FOOTING.

PROVIDE (3) #5 BARS AT CORNER PIERS.

RUN HORIZONTAL REINFORCEMENT THROUGH

PIER.

PIERS TO BE GROUTED CONTINUOUS HEIGHT,

GROUTING MUST BE EXTEND DOWN TO

FOOTINGS. CONCRETE GROUT HAVING MIN. F'_c

= 3000 PSI, COARSE AGGREGATE SHALL BE

PEA GRAVEL. REFERENCE NCMA TEK

MANUAL 23a FOR GROUTING PROCEDURES

SLAB ON GRADE PADS:

CONCRETE: 4000 PSI @ 28 DAYS

REINFORCING: ASTM A615 GRADE 60

SOIL BEARING CAPACITY: 2000 PSF MINIMUM

EXPANSION JOINTS: USE 1/2" POLYFOAM

BOARD (NO ASPHALT IMPREGNATED BOARD

ALLOWED).

SLAB ON GRADE PADS:

CONCRETE: $F'_c=4000$ PSI @ 28 DAYS

AIR ENTRAIN EXTERIOR EXPOSED CONCRETE

REINFORCING: ASTM A615 GRADE 60

SOIL BEARING CAPACITY: 2000 PSF MINIMUM

EXPANSION JOINTS: USE 1/2" POLYFOAM

BOARD (NO ASPHALT IMPREGNATED BOARD

ALLOWED).

FOUNDATIONS:

CONCRETE @ 28 DAYS: $F'_c=3000$ PSI

FOOTINGS. $F'_c=4500$ PSI EXTERIOR WALLS.

TRENCH FOOTINGS, GRADE BEAMS

AIR ENTRAIN EXTERIOR EXPOSED CONCRETE

REINFORCING: ASTM A615 GRADE 60

SOIL BEARING CAPACITY: 2000 PSF MINIMUM.

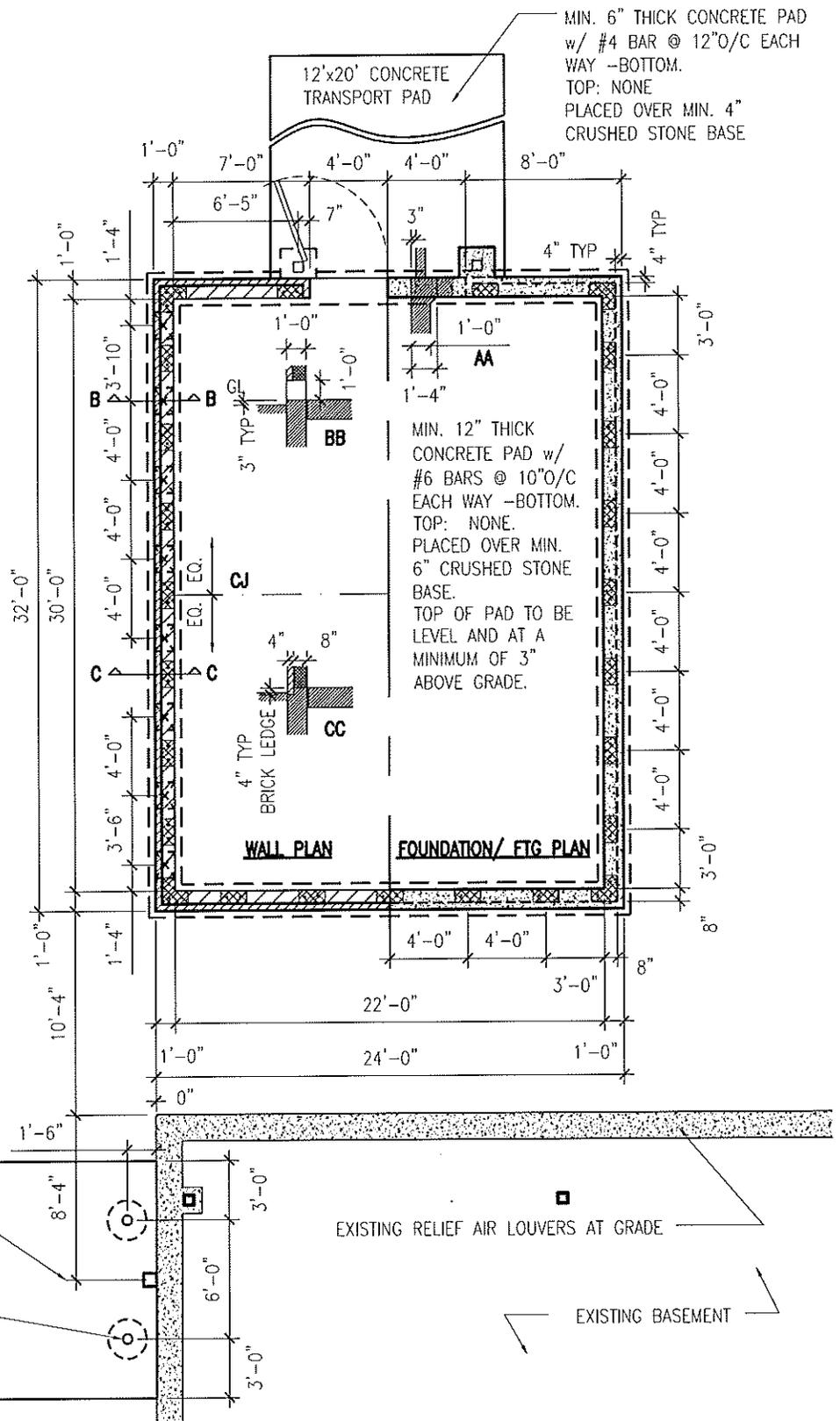
STRIP FOOTING: PROVIDE (2) #5 BOTTOM,

LENGTH. WALL: PROVIDE (2)#5 TOP OF

WALL

EMERGENCY FILL LOCATION FOR
O2 SYSTEM- PROVIDE MIN.
12'x12' CONCRETE PAD. SEE
TRANSPORT PAD NOTES PER MFR.
AND DETAILS ABOVE

PROVIDE (2) 6" DIA. x8'-6" (4'
PROJECTION) SCHED. 40 PIPE w/
CONC. FILL SET IN 24" DIA.
CONCRETE FOUNDATION



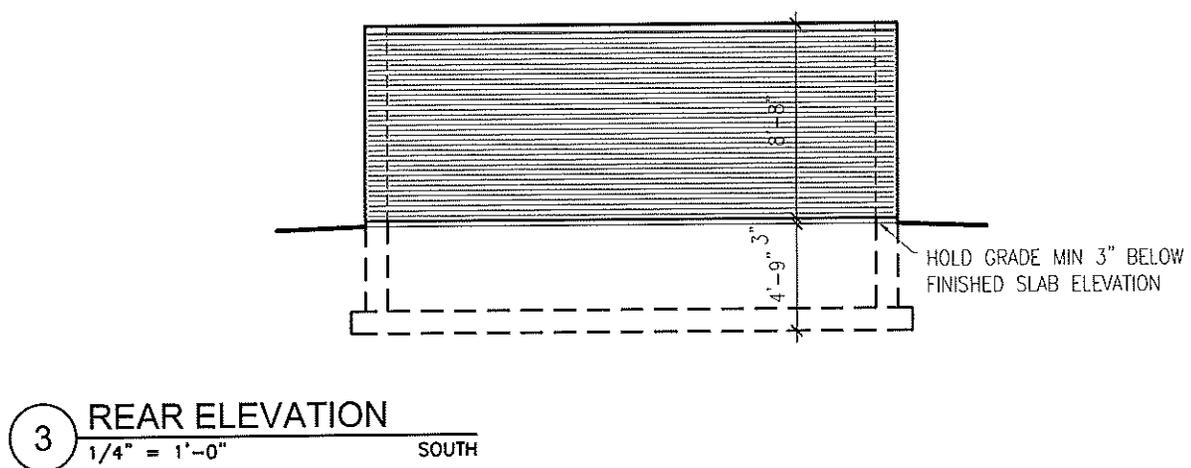
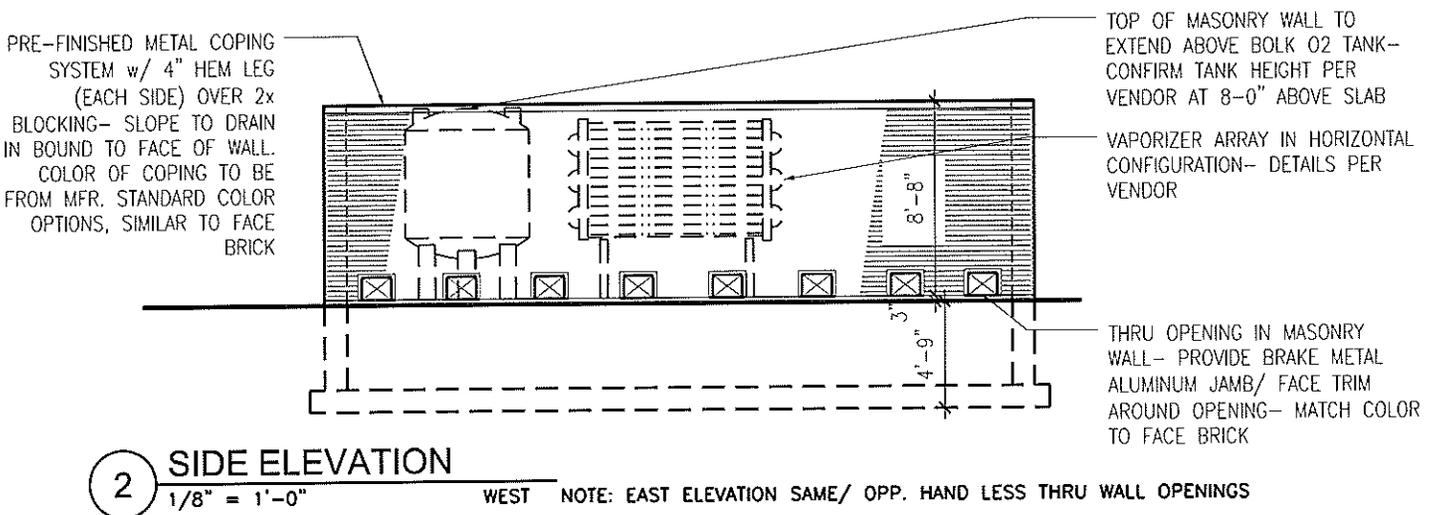
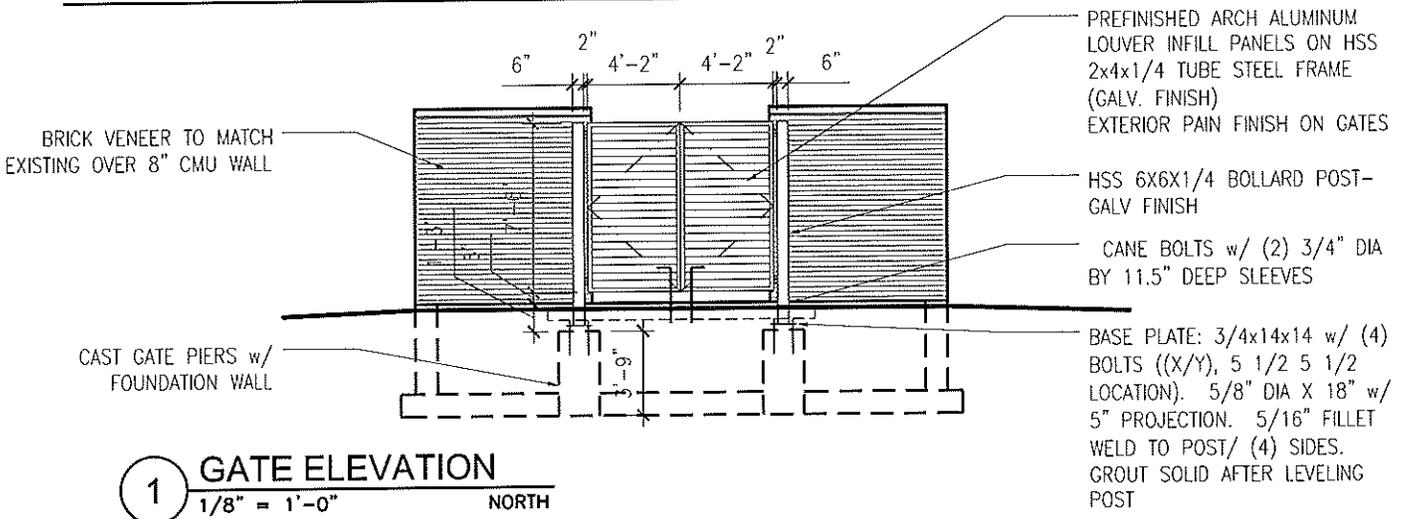
Date: 8/14/15

Project Name: WMH - Wound Care

Project No: 140108.03

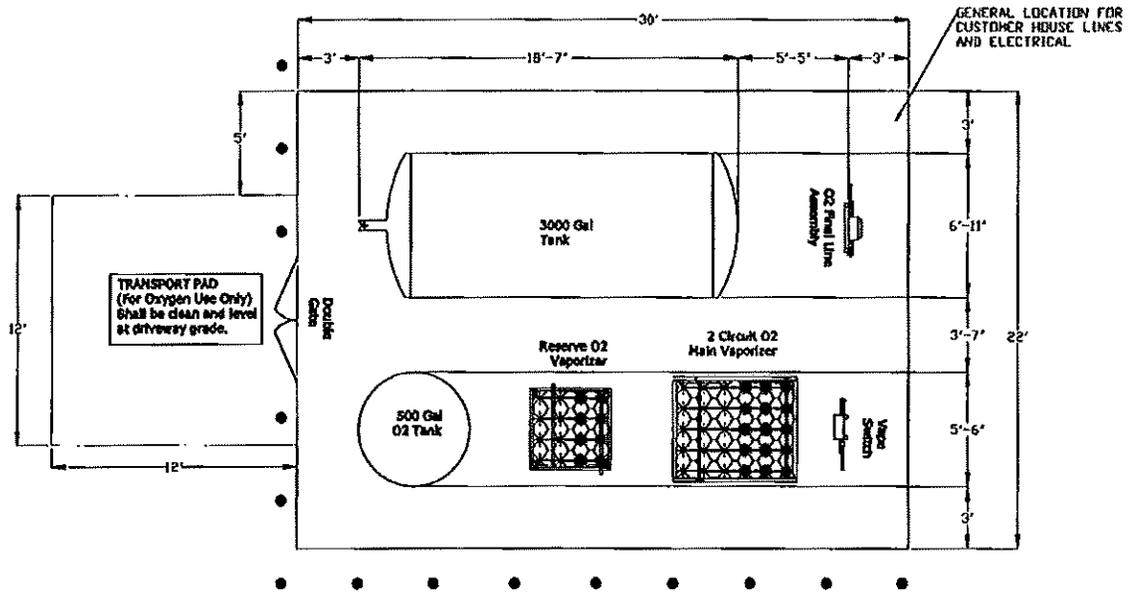
Subject: Bulk Oxygen Storage installation

Supplemental Instructions

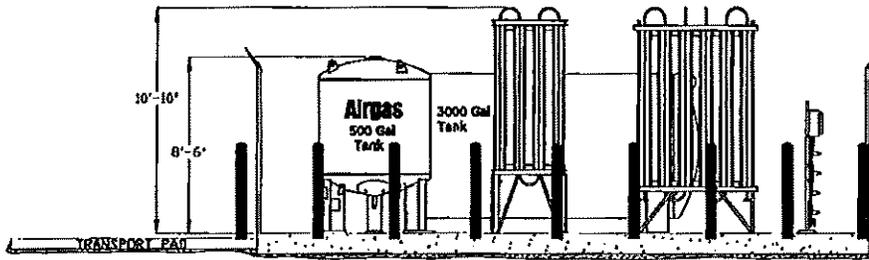


Date: 8/14/15
 Project Name: WMH - Wound Care
 Project No: 140108.03

Subject: Bulk Oxygen Storage installation



THIS DEPICTION IS ONLY TO BE USED AS A REFERENCE DRAWING. EXACT LOCATION OF EQUIPMENT WILL BE DETERMINED AT THE TIME OF INSTALLATION BY CRYO-TECH. FIREWALL(S) MAY BE REQUIRED TO CONFORM TO NFPA 55 AND NFPA 99 CODES.



Pad Dimensions and Reinforcing:

Oxygen Tank Pad: 30' x 22' x 12" Thick
 Bottom: #6 Bars @ 10" OC Both Ways
 Top: None

Transport Pad: 12' x 20' x 6" Thick
 Bottom: #4 Bars @ 12" OC Both Ways
 Top: None

Pads to be poured with a 3" bottom clearance over 4" of compacted crushed stone.

The top of all concrete tank pads to be poured level and at a minimum of 3" above grade.

Concrete: 4000 PSI @ 28 Days
 Reinforcing: ASTM A615 Grade 60
 Soil Bearing Capacity: 2000 PSF Minimum
 Grounding: Per NFPA 70, NEC Article 501 & Drawing PIP 2

Exception Detail: Use 1" Polyfoam Board
 (Use of asphalt impregnated board is prohibited)

Work this drawing with:
 PIP 1 - Pad Installation Procedure
 PIP 2 - Grounding Specifications
 PIP 3 - Standard Bollard Detail

Required Utilities

- Tank Grounding (PIP-2)
- 120V 20Amp Courtesy Receptacle
- 120V 20Amp Generator Backup Power with Disconnect
- 8 Pair of Alarm Wires (22 Ga. Twisted Pair)
- Security Lighting: Two Places mounted 8' High Minimum
- Source Valve (HCH-1)
- EOSC (Emergency Oxygen Supply Connection)
- Fencing: 8' High Chain Link with 3 Strands of Barbed Wire
- Bollard Protection (PIP-3)

REV.	DATE	DESCRIPTION	APP. BY

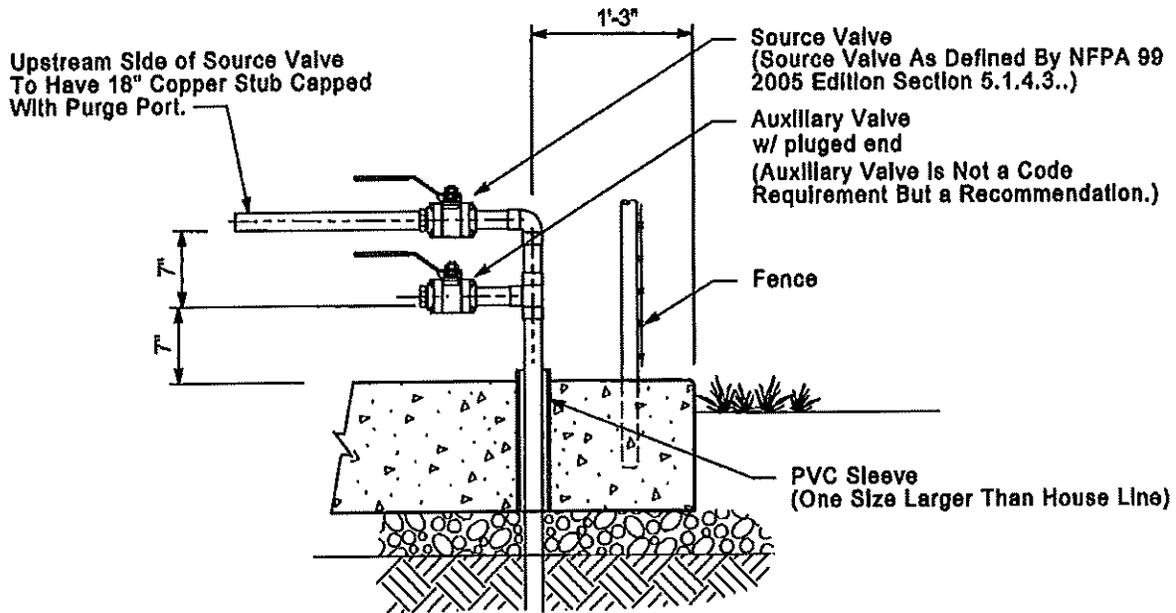
REV.	QUANTITY	CONCATENATION	ISSUANCE NUMBER	DESCRIPTION	DATE/NOTES

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Airgas

SCALE: NTS
 DATE: 1/13/13
 North Central
 Agneson Healdicore
 P-1 d2 lco

DATE: 1/13/13
 DRAWN BY: PK
 CHECK BY:
 ENGINE NUMBER: Tank Layout



House Line Detail

Healthcare Facility Notes (To be used with Drawings HC-1 thru HC-5)

1. National Fire Protection Association 99C Section 5.1.3.4.13.3 States:
Allowance for at least 3'-0" of clearance around storage container, vaporizer(s) and pressure-regulating manifold for system maintenance and operation.
2. Rolling or sliding gate may be preferred for main gate. 5'-0" opening is recommended.
3. Mechanical switches with dry contacts supplied by Airgas for main supply low, reserve supply low, reserve in use and reserve pressure low (when applicable).
4. 120 VAC / 20 AMP power required for the local signal panel near the regulation stand.
5. Recommended wiring (required for each alarm panel) is 6 pair of wires at the tank pad.
6. Emergency Oxygen Supply Connection (EOSC) must be installed by the hospital.
7. Source valve and distribution pipeline must be installed by the hospital.
Purge port on valve or copper stub required.
8. Ground rods shall be provided by the hospital.

Issued By _____ Date _____

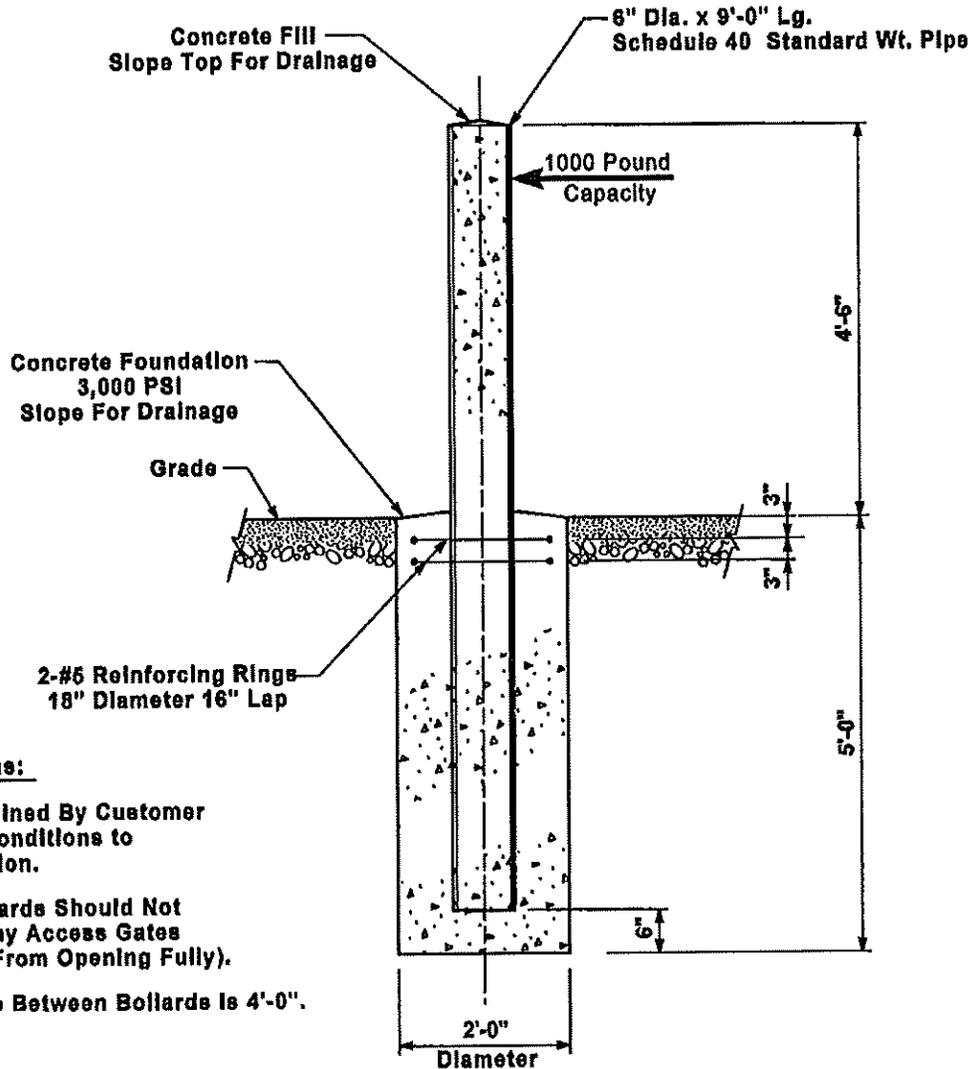
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**General Notes and Details
For Healthcare Facility Use**

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Date 4/1/09 **HCN1**



Bollard Locations:

- Location Determined By Customer Based on Site Conditions to Protect Installation.
- Location of Bollards Should Not Interfere with Any Access Gates (Prevent Gates From Opening Fully).
- Typical Distance Between Bollards Is 4'-0".

Standard Bollard Detail

Bollard Pipe Paint Specification

- Clean Surface Per SSPC- SP3 to Remove Rust and Scale**
 - Primer: RUST-OLEUM Industrial Choice 340 VOC Alkyd Enamel Primer.**
 - Finish Coat: RUST-OLEUM Industrial Choice 340 VOC Alkyd Enamel Color to be Safety Yellow (206327).**
- Apply Per Manufacturers Recommendations.



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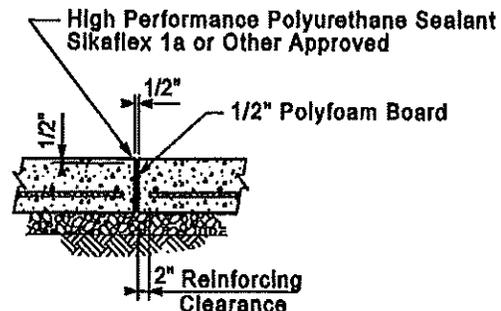
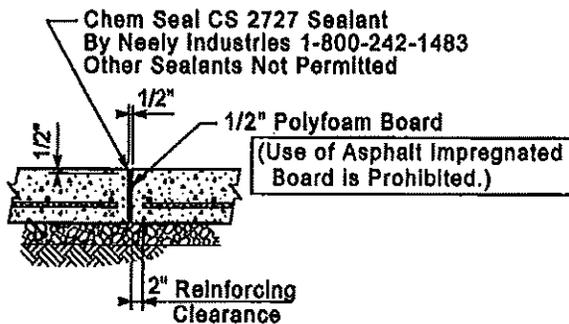
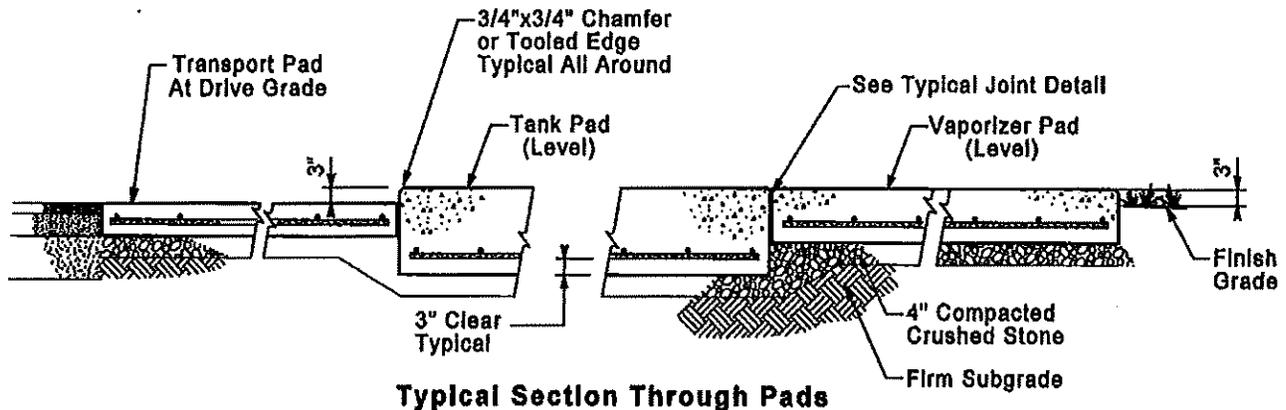
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Standard Bollard Detail For Industrial / Commercial and Healthcare Facility Use

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Date 4/1/09

PIP3



Pad Installation Procedure

1. Site must be well drained and have sufficient soil bearing pressure to support the floating pads. 2000 pounds per square foot is the minimum recommended soil pressure.
2. Excavate material to the proper elevation to accommodate the pad and base. The bottom of the excavation, or subgrade, must be firm and free of water. Make sure that the excavation has a path for the water to escape. Water must not be allowed to be trapped under the pads. If the bottom of the excavation does not meet these specifications, the pads cannot be installed until corrective action has been taken.
3. Place aggregate base material in the excavation. The best material for the base is a clean, well graded crushed stone ranging from 1" to dust. Compact this material uniformly with a vibrating plate or vibrating roller. The surface should feel like concrete when walked on.
4. Install forms with adequate strength and the proper grades. The surfaces of both tank pad and vaporizer pad shall be level. Install forms at the joints. Joints shall be constructed as specified. Install the specified reinforcing bars with three inches (3") of clearance above the aggregate base. Maintain three-inch (3") clearance at edges and two-inch (2") clearance from the joints.
5. Pour concrete (4000 psi mix) and screed to the specified grades. After initial set, remove joint forms and install the specified foam backer board prior to making the next pour. Saw cutting is not permitted. Finish the surface of the pads with a light broom finish and finish the edges with a chamfer or radius.
6. After pad has cured for 28 days, caulk the joints with the specified sealant. Follow the manufacturer's instructions explicitly.



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Pad Installation Procedure For Industrial / Commercial and Healthcare Facility Use

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Date 4/1/09

PIP1

ORDINANCE # 15 - ____

AN ORDINANCE TO AMEND CHAPTER SIXTEEN OF THE MUNICIPAL CODE OF THE CITY OF WAUPUN ENTITLED "ZONING CODE."

THE COMMON COUNCIL OF THE CITY OF WAUPUN ORDAINS:

SECTION 1: Section 16.11 of the Municipal Code of the City of Waupun entitled "SIGNS" is amended to add subsection (6) as follows:

(6) PERMITTED BILLBOARD SIGN. Notwithstanding any other provision in this Section 16.11, or any provision contained in Section 13.41 of the Waupun Municipal Code, one and only one permanent off-premises billboard advertising sign shall be permitted within the corporate limits of the City of Waupun, located so as to be visible to traffic proceeding along US Route 151. Such sign shall meet all applicable requirements and restrictions required by the State of Wisconsin Department of Transportation, and may only be placed pursuant to a conditional use permit as granted by the Plan Commission, subject to such additional standards and restrictions as the Commission may impose concerning the location and zoning, size, design, materials and aesthetic considerations of such sign.

SECTION 2: All ordinances or portions of ordinances inconsistent with the provisions of this ordinance are repealed.

SECTION 3: This Ordinance shall be in full force and effect on its passage and publication as provided by law.

Enacted this ____ day of _____, 2015.

Kyle J. Clark
Mayor

ATTEST:

Angela Hull
City Clerk