

CITY OF WAUPUN  
PLAN COMMISSION  
MINUTES OF THE DECEMBER 19, 2012 MEETING  
(\*draft)

1. Call to Order:

The Plan Commission met at 4:45 p.m. in the Council Chambers, City Hall, Waupun.

2. Roll Call:

Members Present: Jodi Steger, Fred Lueck, Jerry Medema, Elton TerBeest, and Nancy Vanderkin  
Member Excused: Scott Aylesworth and Richard Flynn  
Staff Present: Mary Kay Vogel and Kyle Clark

3. Chairman Steger called for the approval of the minutes of the November 14, 2012 meeting. Motion by Vanderkin, seconded by TerBeest to approve the minutes of the November 14, 2012 meeting. Motion carried, unanimously.

4. Discuss/Approve Home Occupation of Travis Wichlacz at 527 W. Jefferson St. Chairman Steger noted that Mr. Wichlacz Conditional Use Permit for a home occupation was being reheard as Mr. Wichlacz apparently did not receive his notice for his previous public hearing therefore he did not attend the public hearing to discuss his request. His original request was to operate a home occupation for the diagnosis and repair of computers, the sale of home theater PC's, the sale of used computers, and the repair of smart phones and tablet computers, the design and installation of home automation systems, and the installation of home networks.

The Conditional Use Permit was originally denied as the committee found that the proposed home occupation did not fully meet the purpose and intent of the home occupation provisions of the Cities Zoning Ordinance, specifically section 16.13(k)

Mr. Wichlacz appeared and noted his list of things he previously submitted listed things he intends to do in the future. At this time he intends to focus only on repairs. He would look for a store front downtown in the future where he could sell used computers, home theater PC's, etc. Mr. Wichlacz said his hours of operation would be 9 a.m. – 5 p.m. Monday – Friday and 10 a.m. – 2 p.m. Saturday.

Motion by TerBeest, seconded by Medema to approve a Conditional Use Permit for Travis Wichlacz, 527 W. Jefferson St. to operate a home occupation on said property which includes the diagnosis and repair of computers, smart phones, and tablet computers and the designs and installation of home automation systems and home networks subject to the following conditions:

1. The sale of home theater PC's, used computers, and any other products not originally produced on the premises is prohibited.
2. The Conditional Use Permit shall be reviewed for compliance after one year from the date of issuance.

Vote: Vanderkin, TerBeest, Medema, Lueck, and Steger – "AYE"  
Motion carried, 5/0.

5. Discuss/Approve Conditional Use Permit renewal at 429 E. Main St. A letter dated November 8, 2012 was submitted into record from David Eggers, ER Controls LLC in order to re-apply for a Conditional Use Permit at 429 E. Main St as his original Conditional Use Permit issued in November of 2009 has since

expired. He noted that they hoped to move ER Controls LLC into this building by December 1, 2012 and prior to that date construct their office space.

Tim Bossenbroek representing ER Controls appeared to answer any questions on their renewal. He said their request is the same as the last time. They have taken out a permit on December 1 to work on the façade. They have done a lot of remodeling on the inside. They would have 5 full time employees and one part time. The bulk of their work is done in the field. They have no retail sales. Engineering and assembly of mid-sized electrical cabinets would be completed within the building. They have one forklift for their business.

Kyle Clark noted the Cities grant ends on April 1. Mary Kay said an area in the structure is being remodeled for their professional offices and there would be a small store front.

Lueck feels the original Conditional Use Permit should not have been granted nor should any renewal for this Conditional Use Permit be granted as it is actually an industrial use in the business district. It will not benefit any of the businesses downtown nor draw any citizens downtown to shop. They have apparently done work on the inside of the building but still have done nothing on the outside façade in over 3 years. He also noted they apparently are located in a metal pole type building in an apparent small industrial area in the City of Mayville.

Motion by Vanderkin, seconded by Medema to renew the Conditional Use Permit of ER Controls LLC to establish engineering, installation, sales and service and assembly of control cabinets for automation control systems for the food processing and packaging industry subject to the following conditions:

1. The façade shall be replaced with a newly remodeled façade prior to the business moving into the building.
2. The Conditional Use Permit shall be subject to the Plan Commission review after 1 year from the issuance of this permit

Vote: Vanderkin, TerBeest, Medema, Steger – “AYE”

Lueck – “NAY”

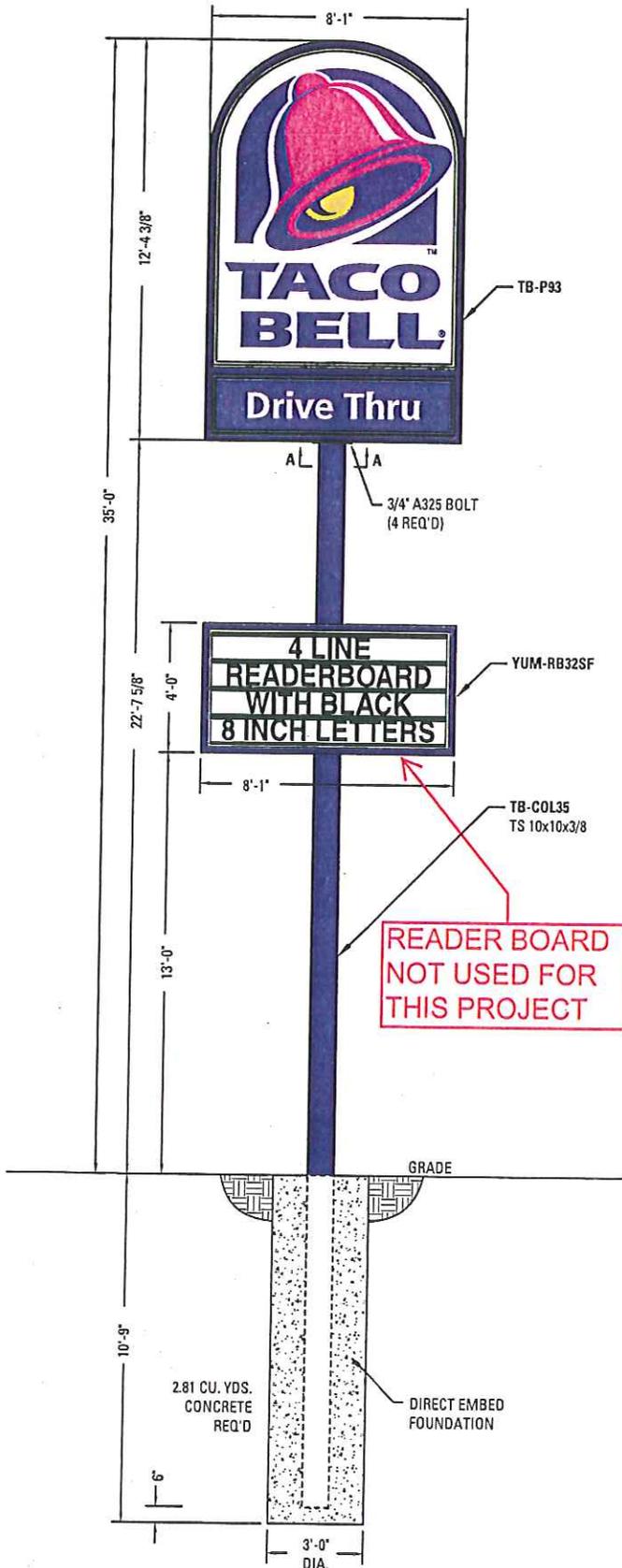
Motion carried 4/1, Conditional Use Permit granted.

6. Discuss/approve street names for street extensions off of Mayfair St. A list of City street names was provided to the Plan Commission. A short discussion was had on possible names. “Fraser” was considered as a possible name as James Earl Fraser is a renowned sculpture of the End of the Trail Statue in Waupun. Kyle Clark noted he would work on that suggestion.
7. Motion by Lueck, seconded by TerBeest to adjourn the meeting. Motion carried, meeting adjourned at 5:04 p.m.

Fred Lueck  
Secretary

# Taco Bell - Logo Double Face Pylon Sign - 93s.f.

V-303



## DESIGN PARAMETERS:

- 110 mph wind speed 3-second gust-Exposure C.
- 300 PSF per foot of depth allowable lateral soil bearing pressure.
- Compliant with national building codes and standards (IBC, UBC, BOCA, AISC, ASCE 7, ACI & Aluminum Design Manual)
- Refer to written documentation for material specification details

## TB-P93 - DFTACO BELL PYLON CABINET Sq. Ft: 93.0

- Extruded aluminum frame, 10' deep with 2" retainer.
- Aluminum painted fillers
- .187 Pan formed and embossed SG polycarbonate with retention strips
- Hingeable access
- Approximate weight: 600 lbs.

### Electrical:

- Lamps: (8) F96T12DSGN50/HO  
 (2) U-Lamp U9-72T12DSGN50/HO  
 (2) U-Lamp U9-96T12DSGN50/HO
- Ballast: (2) 6 Lamp electronic ballast (2.5 amps each)
- Amp Load: 5.0 amps/120 volts
- Circuits: (1) 20 amp circuits 60 HZ - UL 48 & NEC compliant

## YUM-RB32SF - SF READERBOARD (2 Req'd) Sq. Ft: 32.3

- Extruded aluminum frame, 6 1/4" deep with 1 1/2" retainer.
- Aluminum painted fillers
- .150 Pan formed, SG polycarbonate with retention strips
- Approximate weight: 165 lbs.
- Four lines of 8 inch font
- Black copy on clear font panels
- 274 piece character set
- Changer Arm and Storage Box

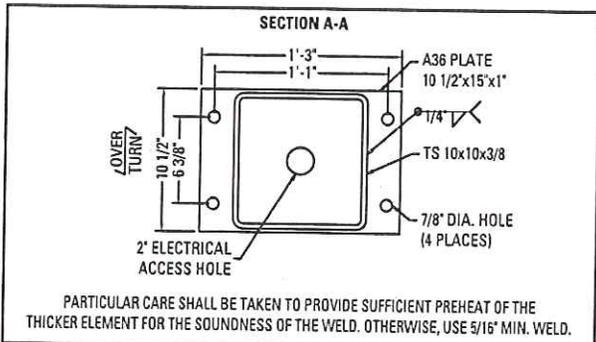
### Electrical:

- Lamps: (4) F96T12HO/CW (each cabinet)
- Ballast: (1) 4 Lamp electronic ballast (1.7 amps each cabinet)
- Amp Load: 3.4 amps/120 volts
- Circuits: (1) 20 amp circuits 60 HZ - UL 48 & NEC compliant

**TOTAL LOAD: 8.4 amps - (2) 20 amp circuits 60 HZ**

## GRAPHIC & COLOR SPECIFICATIONS:

COLOR	PMS	3M
Yellow	109	VQ-4077
Purple	Violet	VQ-4153
Magenta	Process Magenta	VQ-4154



NOT FOR CONSTRUCTION  
JUNE 2008

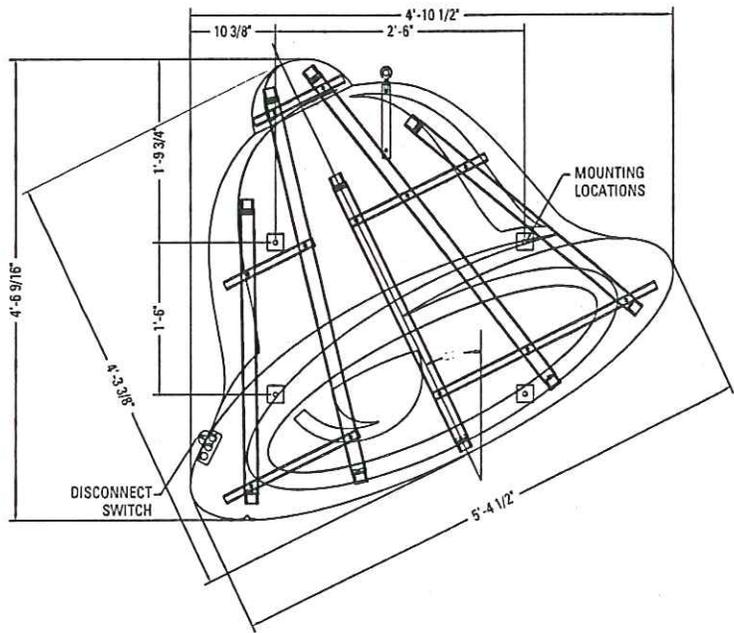


# Taco Bell Swinging Bell

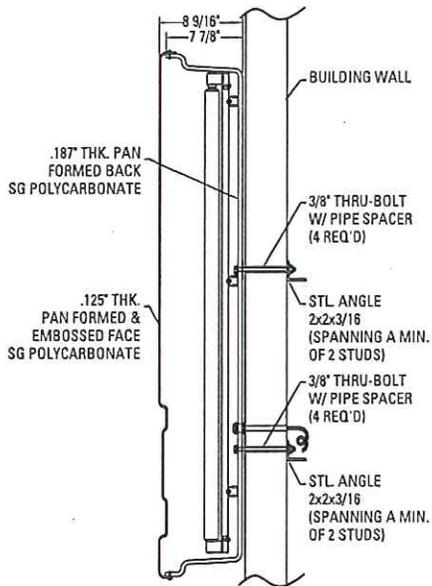
V-060



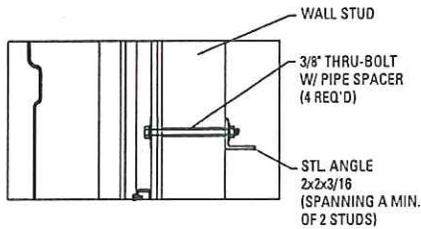
TB-SB4



TYPICAL SECTION @ LOGO



TYPICAL LOGO MOUNTING DETAIL



When the E.I.F.S. finish is utilized on the building, clearance bushings must be incorporated in the installation of the signage/awnings. Bushings shall be installed after the E.I.F.S. has hardened. Drill a hole slightly larger than the bushing diameter, through the E.I.F.S. only, stopping at the plywood. Caulk the opening prior to inserting the bushing to seal penetration.

**DESIGN PARAMETERS:**

- 110 mph wind speed 3-second gust-Exposure C.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC, UBC, BOCA, AISC, ASCE 7, ACI & Aluminum Design Manual)
- Refer to written documentation for material specification details

**TB-SB4 - SWINGING BELL LOGO**

- .187 pan formed SG polycarbonate back
- .125 pan formed and embossed SG polycarbonate face
- Approximate weight: 60 lbs.

**Electrical:**

Lamps: (2) F48T12HO/DSGN50 & (3) F36T12HO/DSGN50  
 Ballast: (1) 5 Lamp electronic ballast (1.7 amps each)  
 Amp Load: 1.7 amps/120 volts  
 Circuits: (1) 20 amp circuits 60 HZ - UL 48 & NEC compliant

**TOTAL LOAD: 1.7 amps - (1) 20 amp circuits 60 HZ**

**GRAPHIC & COLOR SPECIFICATIONS:**

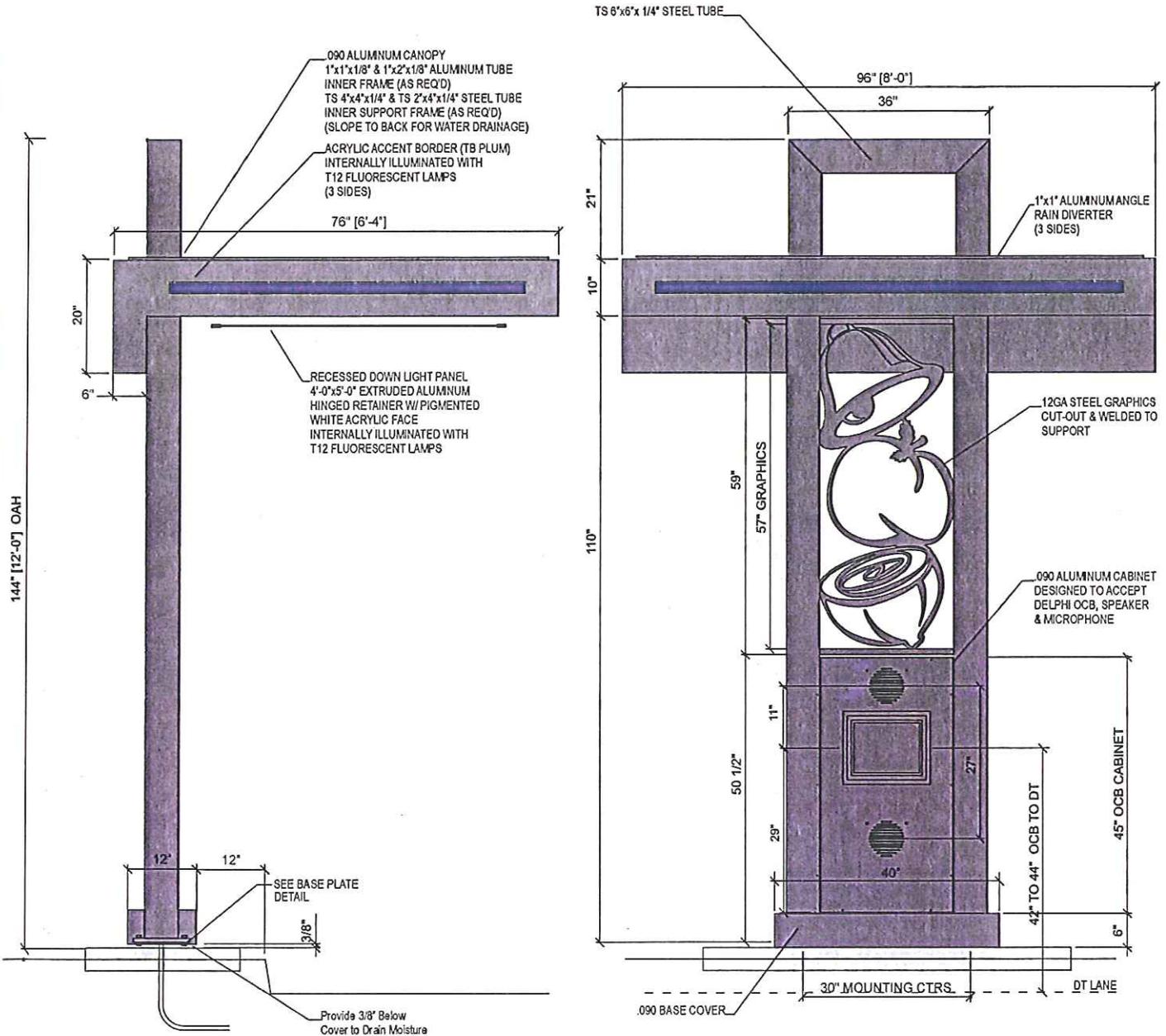
COLOR	PMS	3M
Yellow	109	VQ-4077
Purple	Violet	VQ-4153
Magenta	Process Magenta	VQ-4154

NOT FOR CONSTRUCTION  
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# Taco Bell - Canopy Orderpointe

V-301



**DESIGN PARAMETERS:**

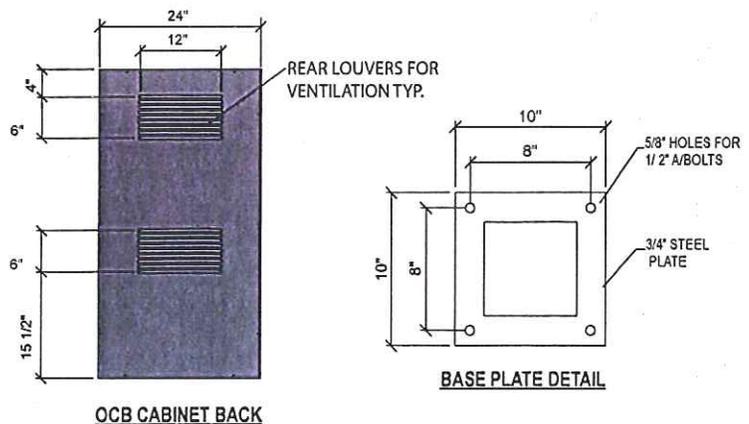
- 110 mph wind speed 3-second gust-Exposure C.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC, UBC, BOCA, AISC, ASCE 7, ACI & Aluminum Design Manual)
- Refer to written documentation for material specifications

**ELECTRICAL :**

- Border Light (2) 72" Lamps (1) 96" Lamps (1) Electronic Ballast 2.34 Amps
- Down Lights (6) 48" Lamps (1) Electronic Ballast 3.49 Amps
- Total Load - 5.83 Amps (1) 20 Amp Circuit

**GRAPHIC & COLORS SPECIFICATIONS:**

- Canopy Structure & OCB Cabinet: Paint to Match: TB Bronze Tiger Drylac 49-66230 C33
- Accent Border Stripes: Screen printed 2nd surface Plum - Paint to Match PMS #2685

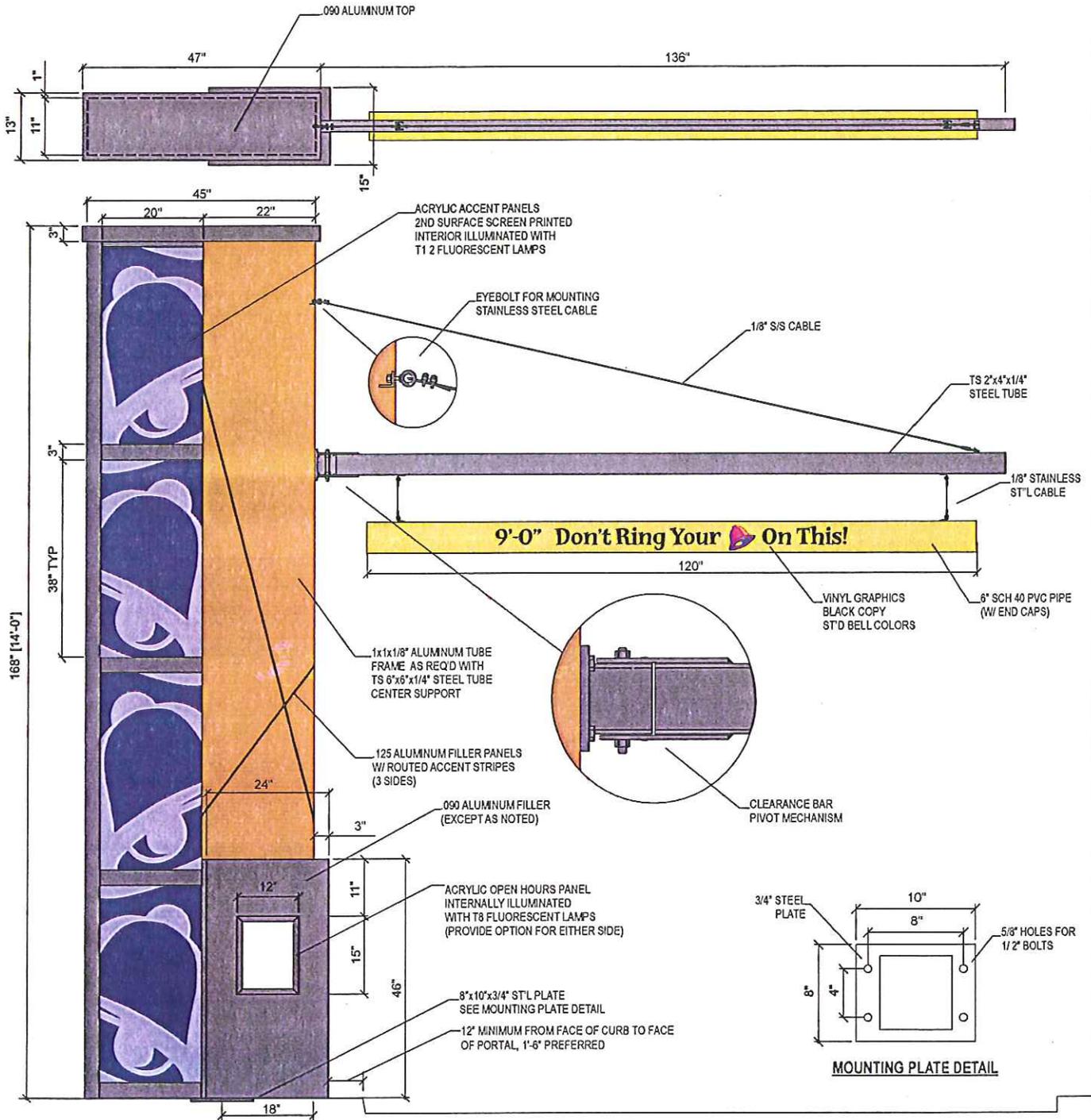


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# Taco Bell Midlow Portal - Clearance Bar

V-300



## DESIGN PARAMETERS:

110 mph wind speed 3-second gust-Exposure C.  
Attachment may vary based on wall conditions.  
Compliant with national building codes and standards  
(IBC, UBC, BOCA, AISC, ASCE 7, ACI & Aluminum Design Manual)  
Refer to written documentation for material specifications

## ELECTRICAL :

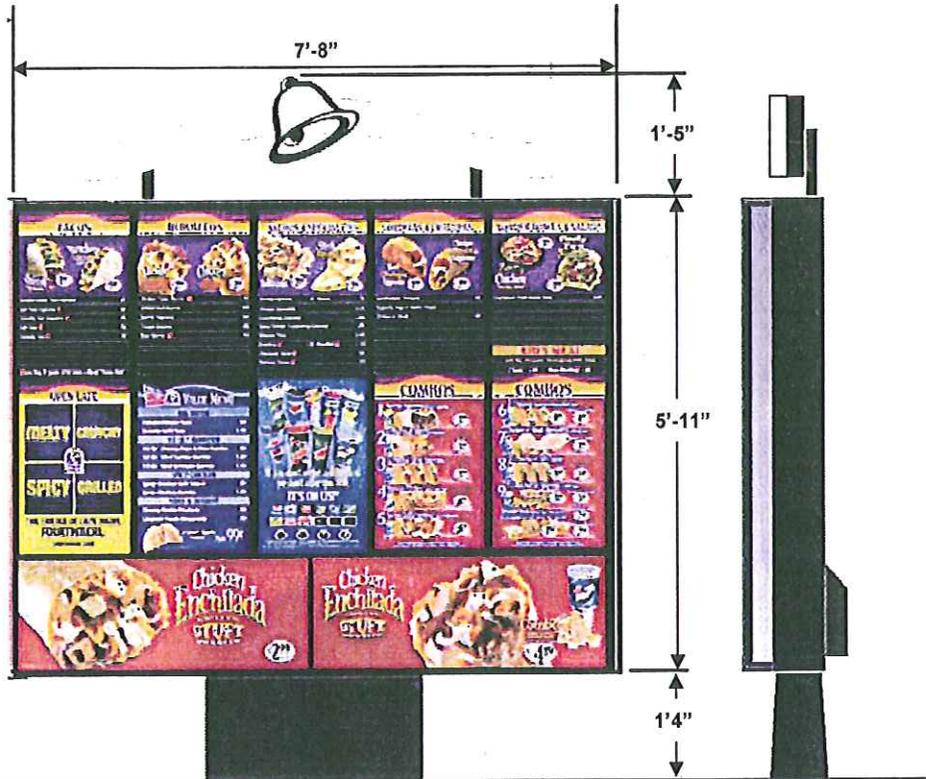
Bell accent light (4) 7ft T12 lamps (1) 2ft T12 lamps  
(1) 5-lamp Electronic Ballast  
Total Load - 3.49 Amps  
(1) 20 Amp Circuit

## GRAPHIC & COLORS SPECIFICATIONS:

- Main exterior filler:  
Paint to Match: Amber Wave SW6657 (PMS 153)
- Illuminated Bell Tower, Clearance Support Bar & Access Panel:  
Paint to Match: TB Bronze Tiger Drylac 49-66230 C33
- Clearance Bar: Paint to Match PMS 108
- Bell Panels: Screen printed 2nd surface  
Plum - Paint to Match PMS #2685  
Light Plum - Paint to Match PMS #2645

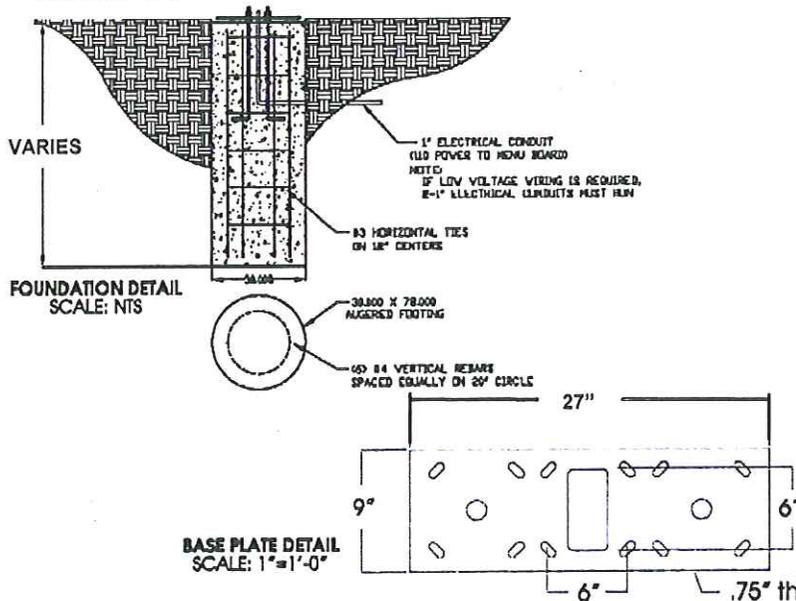
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JUNE 2008





**FRONT VIEW**  
SCALE: 1/2"=1'-0"

**SIDE VIEW**  
SCALE: 1/2"=1'-0"



### SIGN SPECIFICATIONS

- Materials**
- Cabinet: Extruded aluminum
  - Faces: 150 S/G Polycarbonate

**Access**

- Open doors & remove panels

**Area**

- Squared: 81.72 Sq. Ft.

**Weight (Est.)**

- 950 lbs. Crated

**Wind Load**

- 50 PSF, 110 MPH wind speed 3 second gust - exposure C.

### ELECTRICAL SPECIFICATIONS

**Lamps**

- (4) F025/741 36" 4100K, (10) F032/741 48" 4100K
- (2) F040/741 60" 4100K

**Ballast**

- (7) Electronic ballasts @ .58 amps each
- (1) Electronic ballast @ .17 amps
- (2) Electronic ballasts @ 1.15 amps

**Line Load**

- 4.09 Amps @ 120 VAC
- (1) 15 Amp circuit, 60 Hz UL 48 & NEC Compliant

### COLOR SPECIFICATIONS

- Interior: Mill Finish
- Exterior: Cabinet: Tiger Drylac 49/68230-33 Bronze
- Doors & Mullions: Black
- Graphic & Color Specifications: Tiger Drylac 49/68230-33 Bronze

**DISCLAIMER:** Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications & install drawings.

NOT FOR CONSTRUCTION  
JUNE 2008



E JEFFERSON STREET

SHALER DRIVE

"STOP" SIGN SHALL BE INSTALLED AT A HEIGHT OF SEVEN (7) FEET AT THE DRIVEWAY APPROACH

CONCRETE APRON & SIDEWALK (PER CITY STANDARDS & DETAIL C-001)

NEW STREET (BY OTHERS)

PAVEMENT MARKINGS BY PAVEMENT CONTRACTOR

FUTURE STREET (BY OTHERS)

CLEARANCE BAR

DRIVE-THRU CANOPY/ORDER CONFIRMATION BOARD

MULTI-TENANT MONUMENT SIGN (SEE ARCH. FOR ADDITIONAL INFO)

HANDICAP ACCESSIBLE SIGN SIGN BOTTOM 48" ABOVE SIDEWALK (SEE DETAIL)

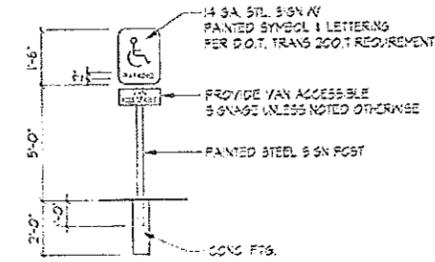
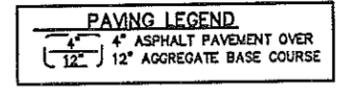
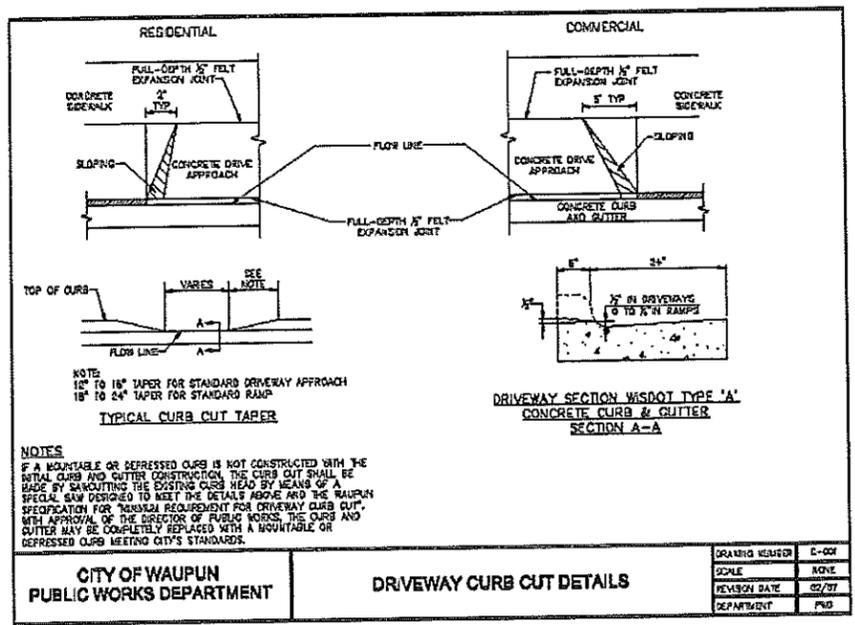
TRASH ENCLOSURE (SEE ARCH. FOR ADDITIONAL INFO)

FLAG POLE (SEE ARCH. FOR ADDITIONAL INFO)

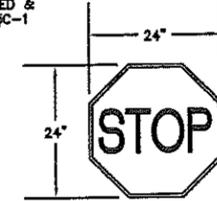
PROPOSED SIGN (SEE ARCH. FOR ADDITIONAL INFO)

20' BUILDING SETBACK

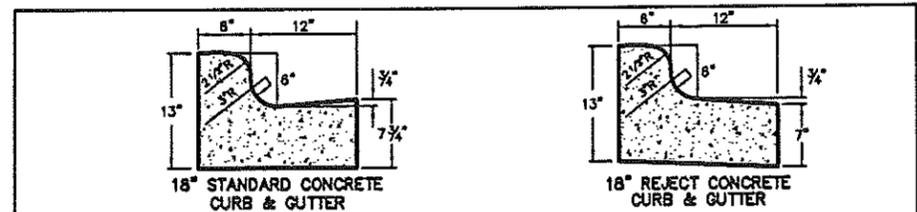
S 89°08'54" W 314.27'



CONCRETE APRON (PER CITY STANDARDS & DETAIL C-001)  
SAWCUT CURB HEAD FOR ENTRANCE (PER CITY STANDARDS & DETAIL C-001)  
ALL IMPROVEMENTS IN AREA SHOWN HATCHED SHALL BE FURNISHED & INSTALLED UNDER ALT. BID #C-1



**SITE PLAN**



"STOP" SIGN SHALL BE INSTALLED AT A HEIGHT OF SEVEN (7) FEET AT THE DRIVEWAY APPROACH.

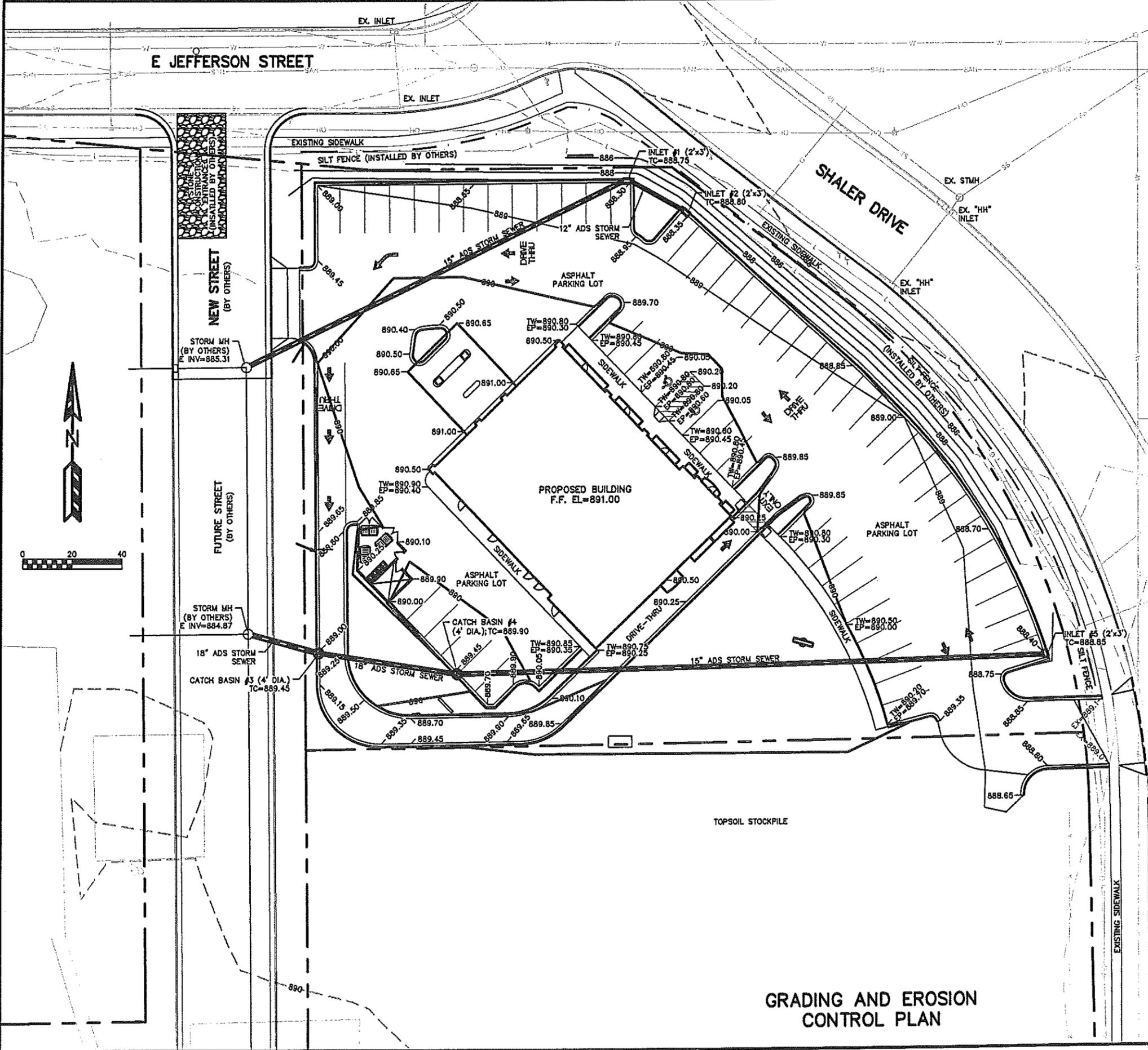
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752

1403 12th STREET - SUITE C  
CHIPPewa FALLS, WI 54729  
PHONE: 715.832.0075  
FAX: 715.726.1668  
www.rivervalleyarchitects.com

**RIVER VALLEY ARCHITECTS, INC.**

NEW MULTI-TENANT RETAIL FACILITY FOR  
TACO BELL - JEFFERSON, LLC.  
SHALER DR.  
WAUPUN, WISCONSIN

DATE	02-10-13
REVISION	
SHEET NO.	C1
DRAWN BY	AP/ADJ
CHECKED BY	02-10-13



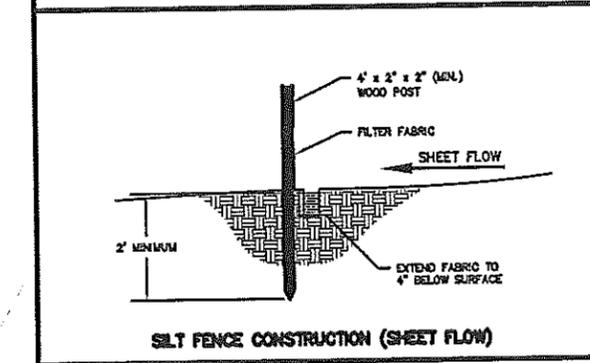
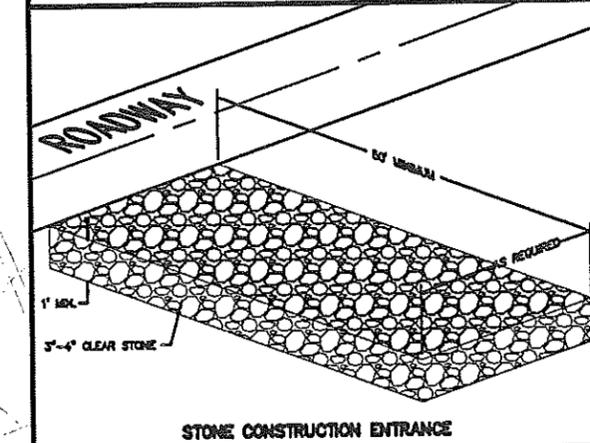
**EROSION NOTES:**  
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.  
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**THE SCHEDULE:**  
 MARCH 1, 2013 INSTALL INITIAL EROSION CONTROL DEVICES  
 MARCH 1 - JULY 1, 2013 CONSTRUCT BUILDING & PARKING LOT AND RESTORE PREVIOUS DISTURBED AREAS

**RESTORATION NOTES:**  
 ALL PREVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PREVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.  
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.  
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 18%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:**  
 JEFFANN, LLC  
 ATTN: JEFF FRANK  
 1887 STATE ROAD 33  
 MATKELIA, WI 53550

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
 TDD(FOR THE HEARING IMPAIRED)(608)542-2289  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

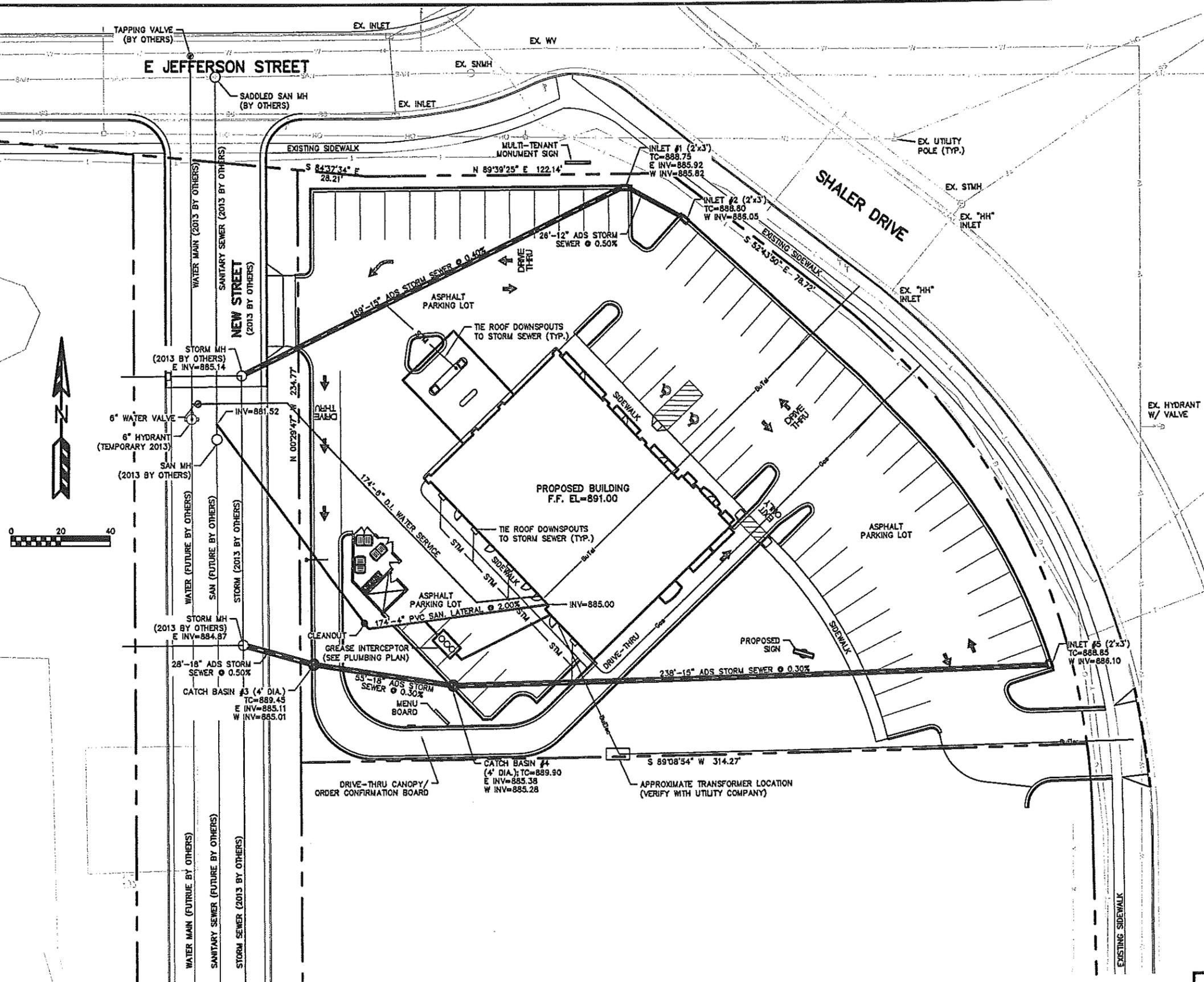
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1403 122nd STREET - SUITE C  
 CHIPPewa FALLS, WI 54729  
 PHONE: 715.832.0675  
 FAX: 715.728.1988  
 www.therevalyarchitects.com

**RIVER VALLEY ARCHITECTS, INC.**

NEW MULTI-TENANT RETAIL FACILITY FOR  
 TACO BELL - JEFFANN, LLC.  
 SHALER DR.  
 WAUPUN, WISCONSIN

DATE: 08-10-12  
 REVISION:  
 SHEET NO.: C2  
 DRAWN BY: RYAN QUAM  
 CHECKED BY: RYAN QUAM



**UTILITY NOTES:**

ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF WAUPUN AND WISCONSIN DEPARTMENT OF COMMERCE STANDARDS.  
 ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.  
 ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.  
 ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.071(8)(2) OF STATE STATUTES.  
 THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS PRIOR TO CONSTRUCTION.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
 WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

1403 122nd STREET - SUITE C  
 CHEPPERA FALLS, WI 54729  
 PHONE: 715.832.0875  
 FAX: 715.726.1068  
 www.rivervalleyarchitects.com

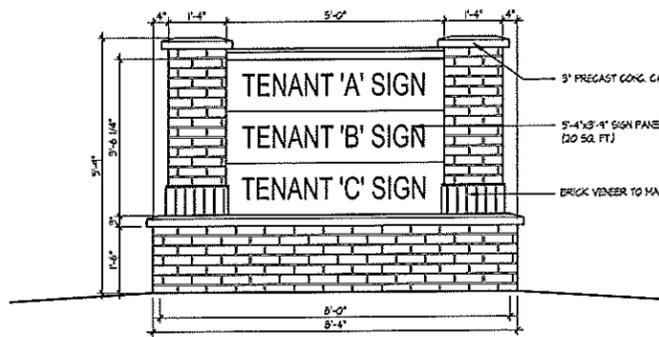
**RIVER VALLEY ARCHITECTS, INC.**

NEW MULTI-TENANT RETAIL FACILITY FOR  
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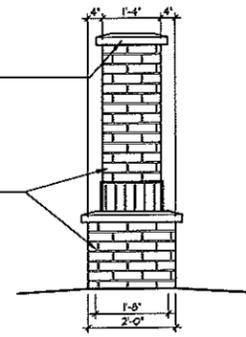
DATE: 10/12/12  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 SET NO: **C3**  
 JOB NO: 10-12

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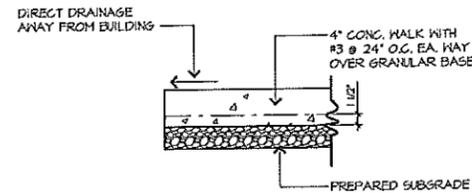
**UTILITY PLAN**



**4 MONUMENT ELEV.**  
A.I. 1/2" = 1'-0"

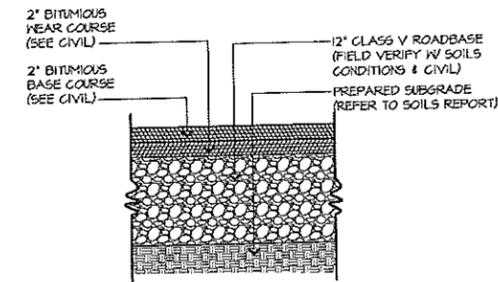


**5 MONUMENT ELEV.**  
A.I. 1/2" = 1'-0"

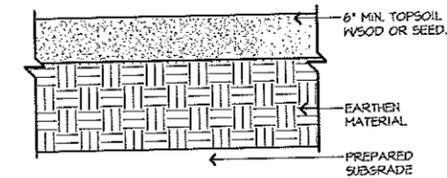


- WALK NOTES:**
1. PROVIDE FULL DEPTH EXPANSION JOINT WITH 2" EXPANSION MATERIAL AT 60' INTERVALS, EXISTING CONCRETE JOINTS AND BUILDINGS.
  2. PROVIDE FULL DEPTH EXPANSION JOINT WITH 1/2" EXPANSION MATERIAL AT 80' INTERVALS.
  3. SCORE 1" DEEP CONTROL JOINTS AT 6' INTERVALS OR LESS TO APPROXIMATE SQUARE DESIGN.
  4. PROVIDE #3 DOWELS 12" O.C. AT CONSTRUCTION JOINTS. EXPANSION JOINTS SHALL BE LOCATED AT ALL CONCRETE WALK INTERSECTIONS, DOOR OPENINGS AND BUILDING WALLS. CROSS SLOPE 1% FROM BUILDING. LONGITUDINAL SLOPE 3% MAXIMUM.

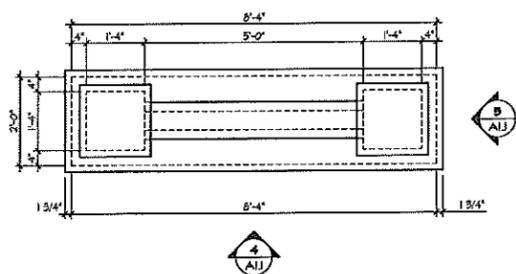
**6 CONCRETE WALK**  
A.I. SCALE: 1" = 1'-0"



**7 ASPHALT PAVING DTL.**  
A.I. SCALE: 1" = 1'-0"



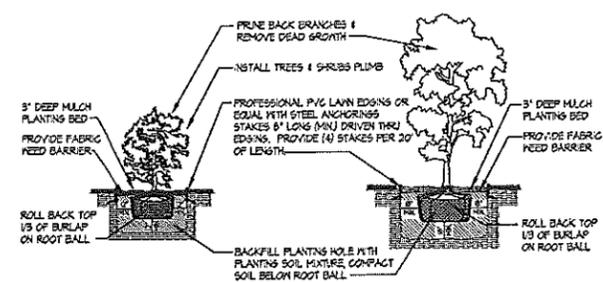
**8 TOPSOIL DETAIL**  
A.I. SCALE: 1" = 1'-0"



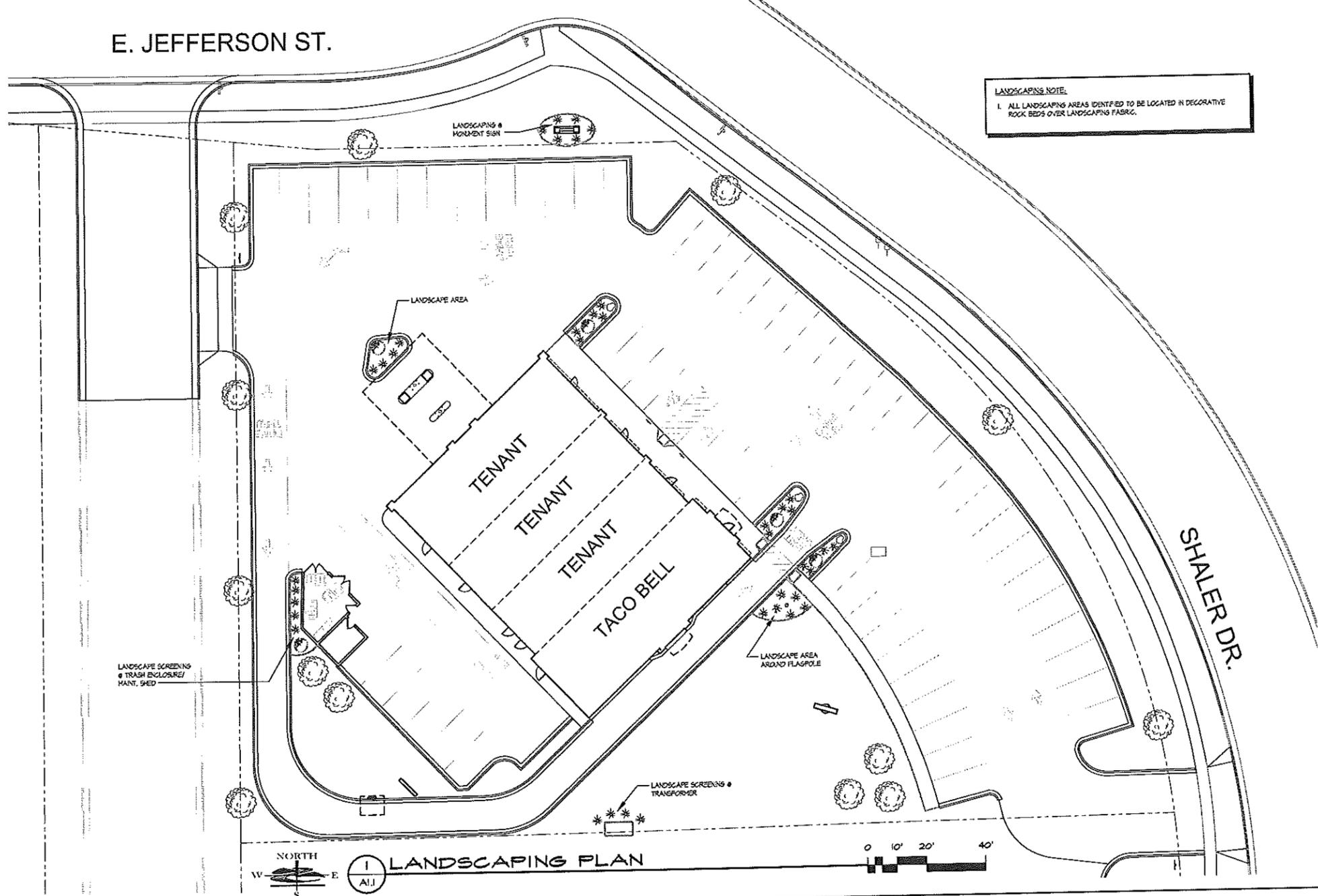
**3 MONUMENT SIGN PLAN**  
A.I. 1/2" = 1'-0"

PLANT SYMBOL	PLANT DESCRIPTION	SIZE	NOTES
	DECIDUOUS TREE	2'	1, 2
	DECORATIVE SHRUB	12	1, 2
	DECORATIVE SHRUB	12	1, 2
	BOLDER	16'-24'	-

- NOTES:**
1. FURNISH AND INSTALL PER DETAIL 2/A.I.
  2. CONTRACTOR TO PROVIDE PLANT TYPE SELECTIONS (MIN. OF 2) FINAL PLANT SELECTION BY OWNER



**2 PLANTING DETAIL**  
A.I. NO SCALE



**1 LANDSCAPING PLAN**  
A.I.

**LANDSCAPING NOTE:**

1. ALL LANDSCAPING AREAS IDENTIFIED TO BE LOCATED IN DECORATIVE ROCK BEDS OVER LANDSCAPING FABRIC.

1408 122ND STREET - SUITE C  
CHIPPewa FALLS, WI 54759  
PHONE: 715.852.0675  
FAX: 715.726.1666  
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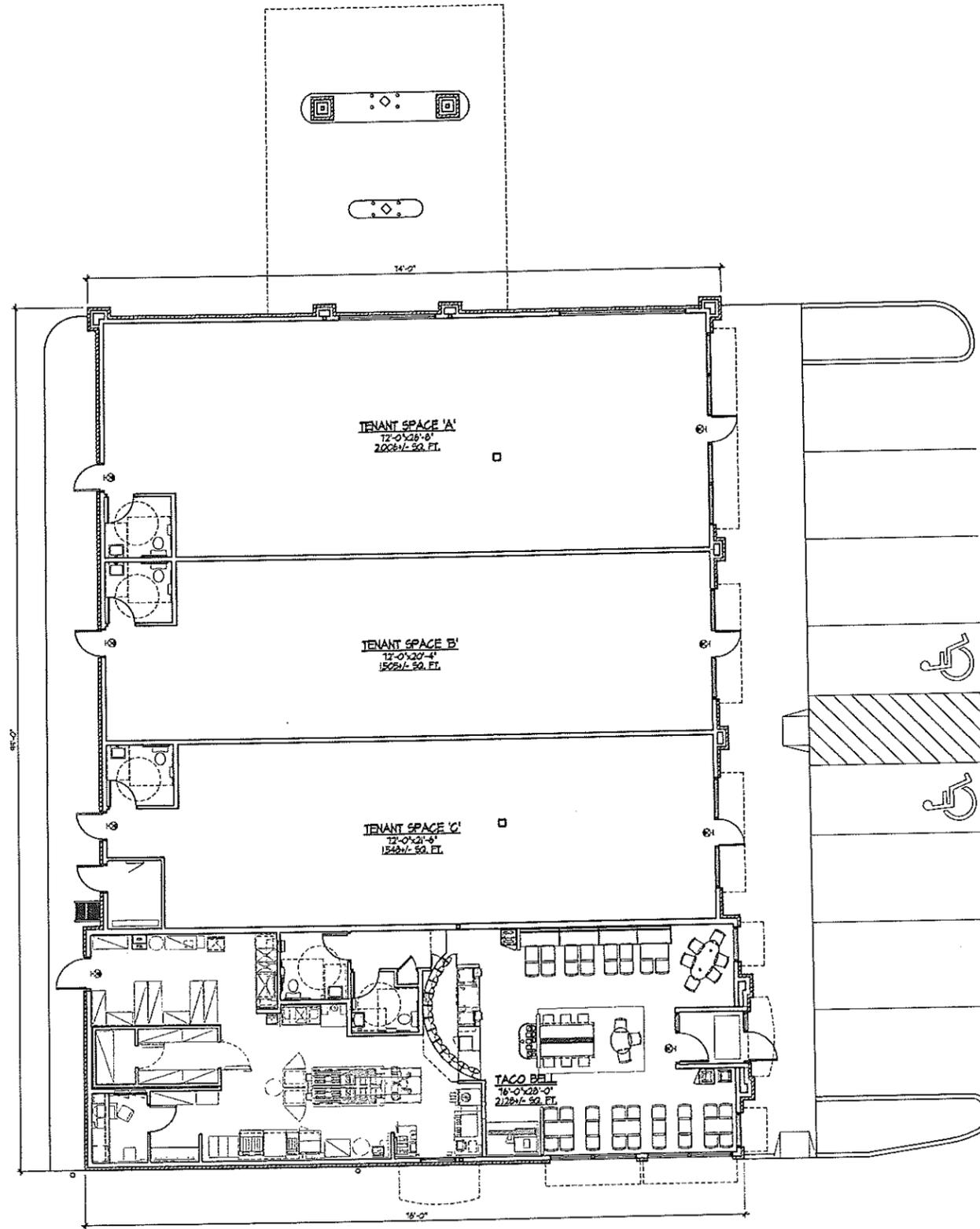
PROPOSED 49 & 151 DEVELOPMENT  
WAUPUN, WISCONSIN

DATE:  
1-15-13

**A1**

PRELIMINARY

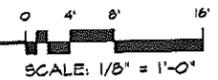
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A2

**PRELIMINARY OVERALL FLOOR PLAN**

OVERALL BUILDING SQUARE FOOTAGE = 1,204 S.F.



PRELIMINARY

PROPOSED 49 & 151 DEVELOPMENT  
WAUPUN, WISCONSIN

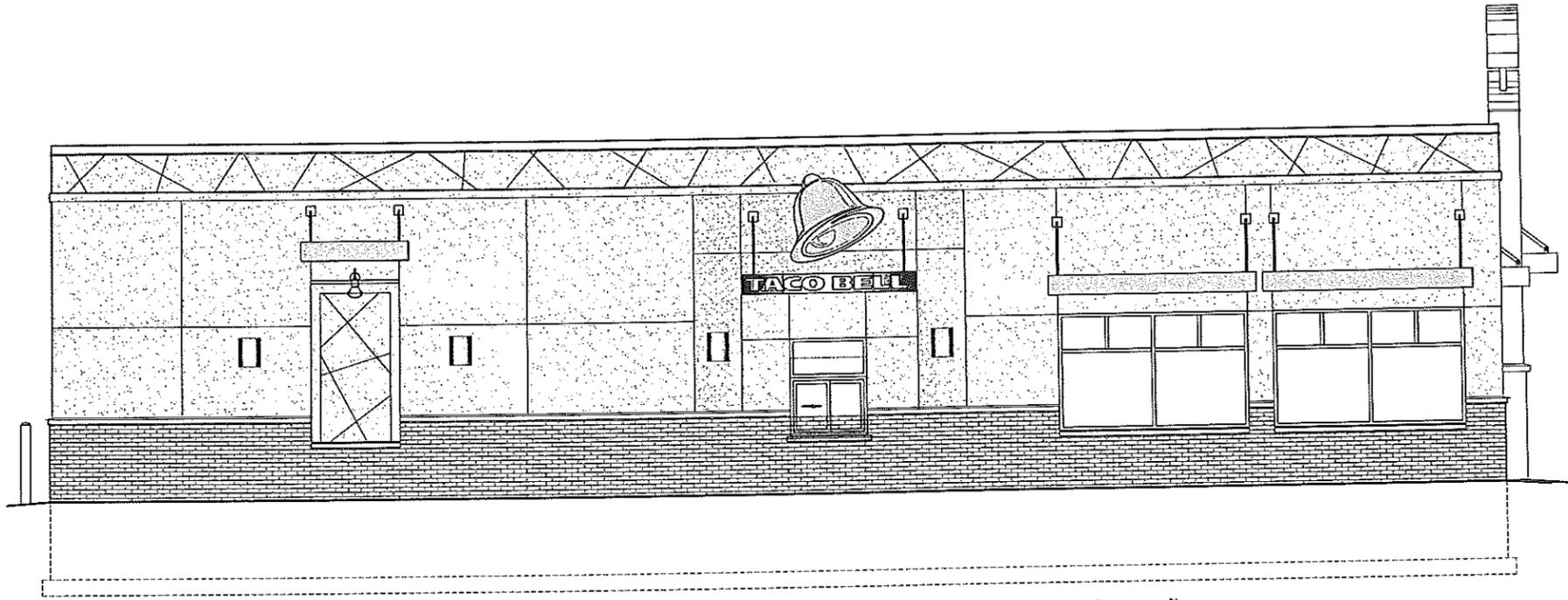
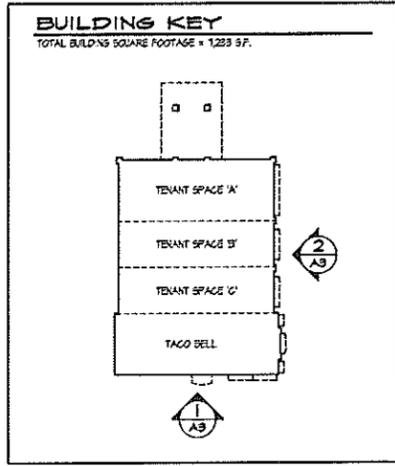
DATE:  
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A2

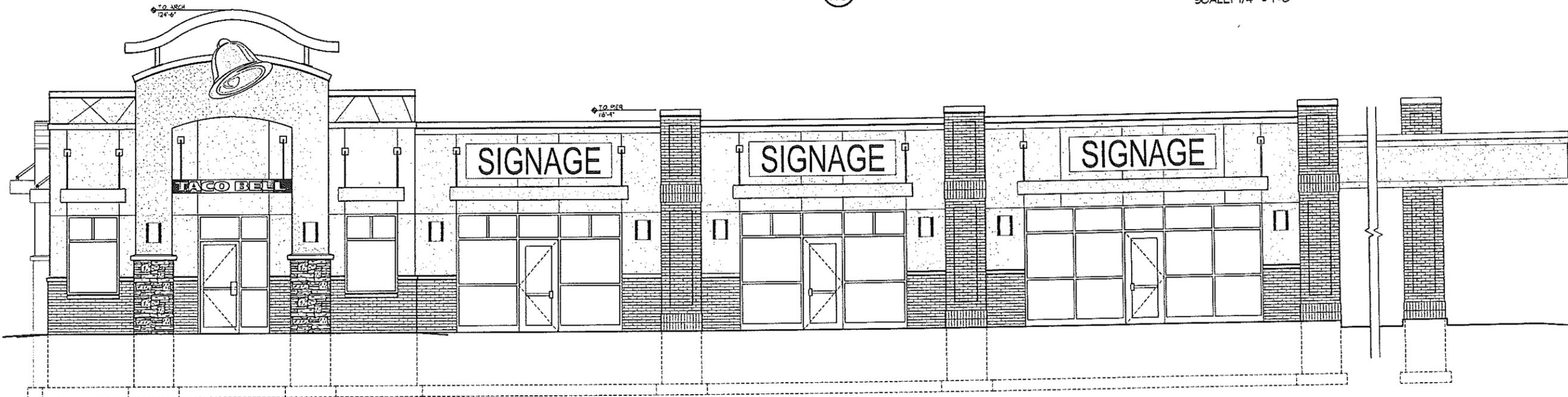


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1 **SOUTHEAST ELEVATION**  
A-3  
SCALE: 1/4" = 1'-0"



2 **NORTHEAST ELEVATION**  
A-3  
SCALE: 1/4" = 1'-0"

1408 122nd STREET - SUITE C  
CARRERA FALLS, WI 54124  
PHONE: 715.892.0813  
FAX: 715.126.1640  
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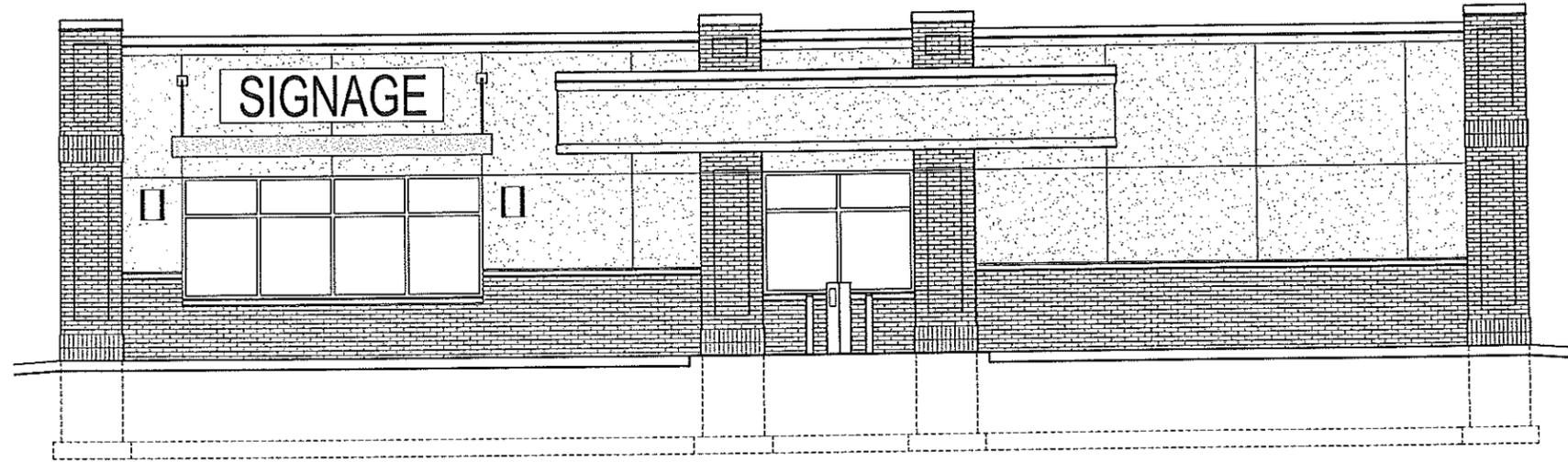
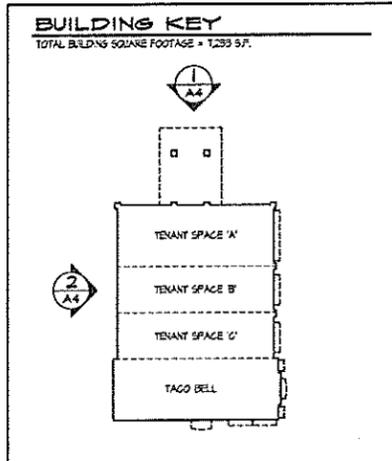
PROPOSED 49 & 151 DEVELOPMENT  
**WAUPUN, WISCONSIN**

PRELIMINARY

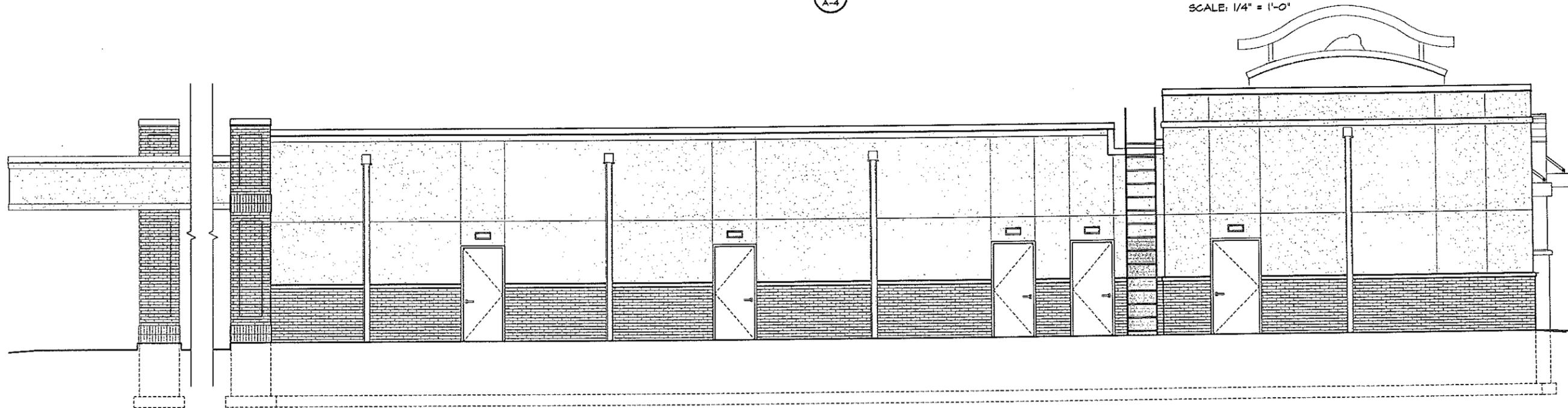
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**A3**

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1 NORTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"

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CHIPPWA FALLS, WISCONSIN  
PHONE: 715.726.0815  
FAX: 715.726.1668  
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PROPOSED 49 & 151 DEVELOPMENT  
WAUPUN, WISCONSIN

DATE:  
1-15-13

A4

PRELIMINARY

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FAX: 715.726.6668  
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PROPOSED 49 & 151 DEVELOPMENT  
WAUPUN, WISCONSIN

PRELIMINARY

DATE:  
1-15-13

A5