

August 14, 2013

The Waupun Plan Commission met in regular session Thursday, August 14, 2013 at 4:45 pm with Mayor Jodi Steger presiding. Members present are Vanderkin, Drews, and Aylesworth. Members Lueck, TerBeest, and Flynn.

Motion Vanderkin, second Aylesworth to approve the minutes of the July 17, 2013 meeting. Motion carried, minutes approved unanimously.

Site plan approval for 1049 S. Watertown Street. Tom Hoinacki was in attendance and described to the Plan Commission his closed storage development project. A memo to the Plan Commission was entered into the record by Building Inspector/Zoning Administrator. The purpose is a single story 2,880 square foot steel framed closed storage structure on the same lot as an existing 2,928 square foot storage building. Recommendation: approval, subject to dimensions of drives being approved by the Fire Department. Chairman Steger confirmed with Fire Chief Berry access to site sufficient regarding the drives.

Motion Vanderkin, second Drews to approve the site plan for storage units at 1049 S. Watertown Street. Motion carried, unanimously.

Site plan for Werner-Harmsen Funeral Home Parking lot addition. Jud Werner was in attendance and described to the Plan Commission the need for additional parking. Werner-Harmsen has acquired the residential property to the east and will remove for their parking lot expansion. Possible future building improvements would occur in Phase II.

Motion Vanderkin, second Aylesworth to approve the site plan for Werner-Harmsen Funeral Home parking lot addition. Motion carried, unanimously.

Site plan approval for Rainforest Apartments Phase II at 913 & 917 Fraser Lane. Dave Decker, owner and Mary Rens, manager were in attendance and described to the Plan Commission the development of two additional 16 unit apartments at Fraser Lane and Shaler Street. A memo to the Plan Commission was entered into the record by Building Inspector/Zoning Administrator. Recommendation: approval, subject to revising the size of parking stalls and garage heights to comply. MSA Professional Services further evaluated for storm water compliance to submitted listing of 18 items to be satisfactorily addressed.

Motion Aylesworth, second Drews approve the site plan for Rainforest Apartment Development Phase #2 conditioned on compliance with all storm water compliance recommendations by MSA Professional Services, compliance with parking stalls and garage heights compliance as recommended by Building/Zoning Administrator, and approved building plans by the State of Wisconsin. Motion carried, unanimously.

Motion Vanderkin, second Aylesworth duly carried the Plan Commission adjourned.

Kyle Clark
City Administrator

****DRAFT****

ORDINANCE NUMBER 13-

AN ORDINANCE TO AMEND CHAPTER SIXTEEN OF THE MUNICIPAL CODE OF THE CITY OF WAUPUN ENTITLED "ZONING ORDINANCE."

THE COMMON COUNCIL OF THE CITY OF WAUPUN, DO ORDAIN:

SECTION 1: Section 16.11(4) of the Municipal Code of the City of Waupun entitled "TYPES OF SIGNS, MAXIMUM SIZE AND LOCATION." is amended to:

Type 8. Signs advertising resthomes, lodges, **apartment complexes** and private non-profit clubs not exceeding **10 20** square feet in area located on the premises.

SECTION 2: This Ordinance shall be in full force and effect upon its passage and publication as provided by law.

Enacted this _____ day of _____, 2013

Jodi Steger
Mayor

ATTEST:

Angela Hull
City Clerk

Memo

To: Plan Commission
From: Mary Kay Vogel, Zoning Administrator
Date: September 11, 2013
Re: Site Plan Approval review for Aquatic Center

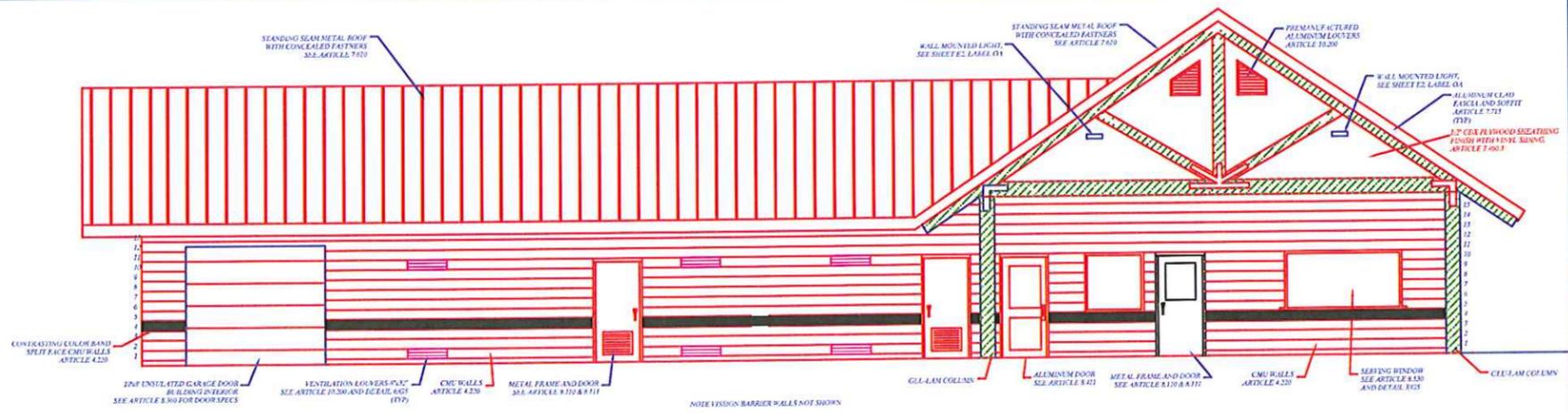
This parcel is located within the C CONSERVANCY DISTRICT.
Parks and recreation areas are approved uses in this District.

Parking requirements in the City Ordinances do not include pools. Thirty-six stalls are being proposed at the start. If this does not prove to be adequate, stalls in the older pool area will be reviewed.

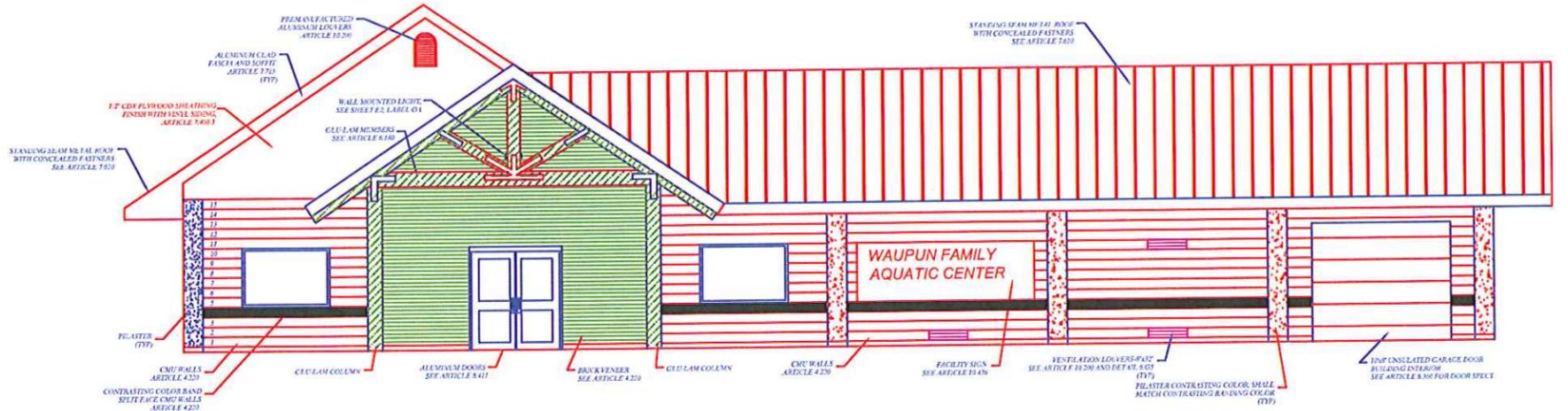
Bathhouse and mechanical building are single story structures.

Proposed sign is 3.5' x 10' – 38.5 square feet.

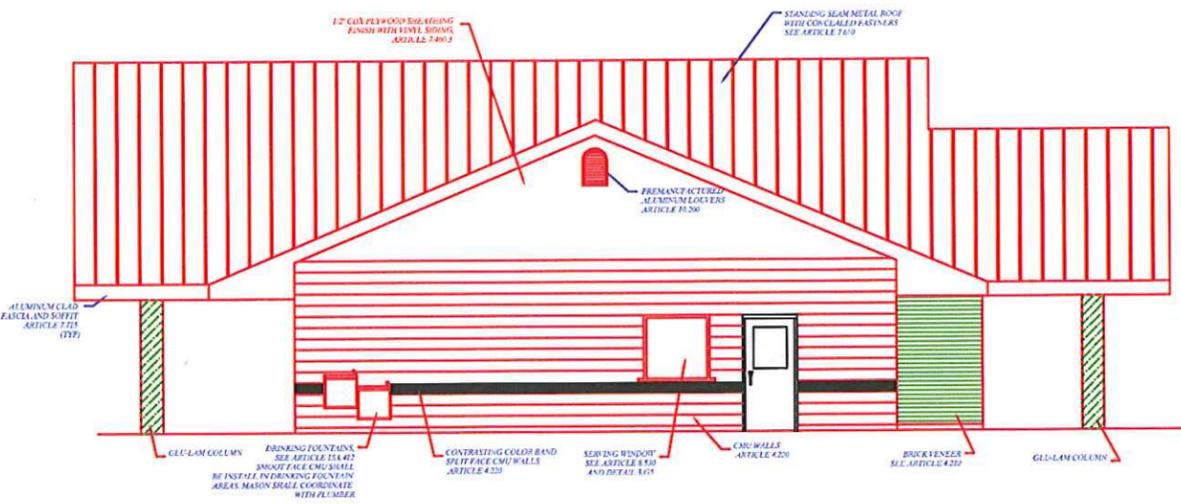
Recommendation: Approval



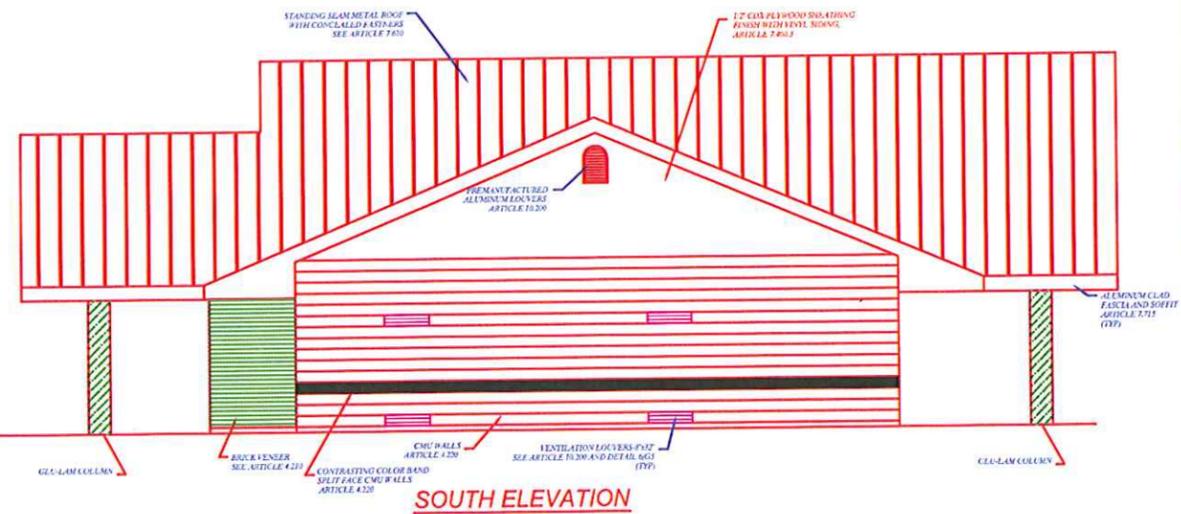
EAST ELEVATION



WEST ELEVATION



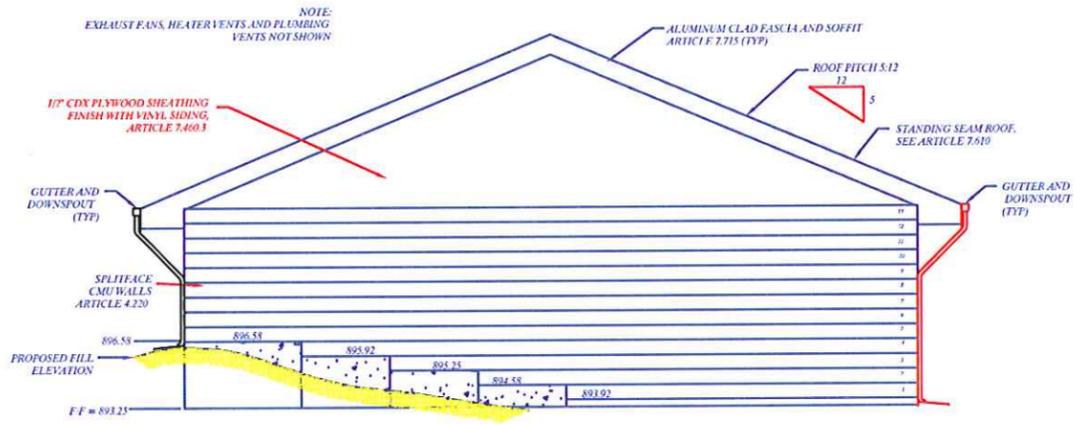
NORTH ELEVATION



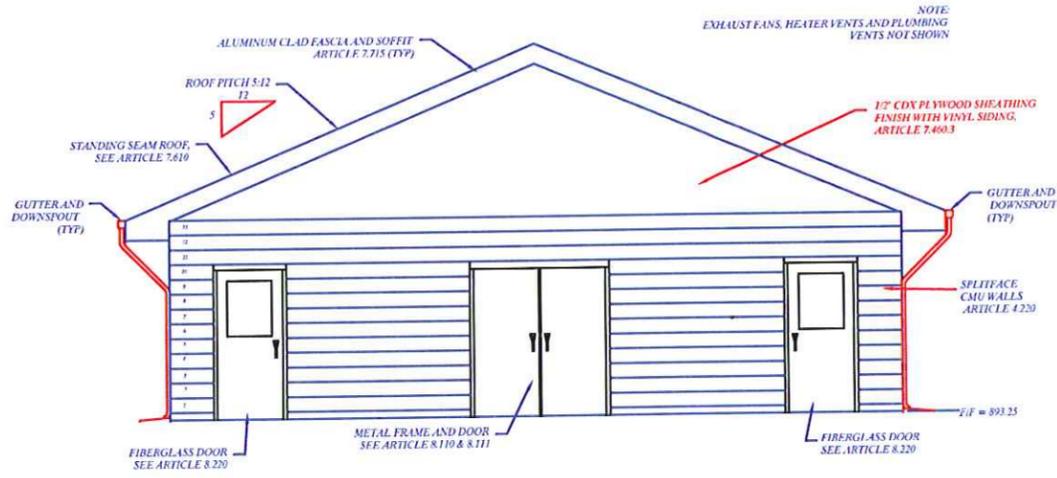
SOUTH ELEVATION

BATHHOUSE ELEVATIONS
 HALF SIZE PLANS SCALE: 3/32" = 1'-0"

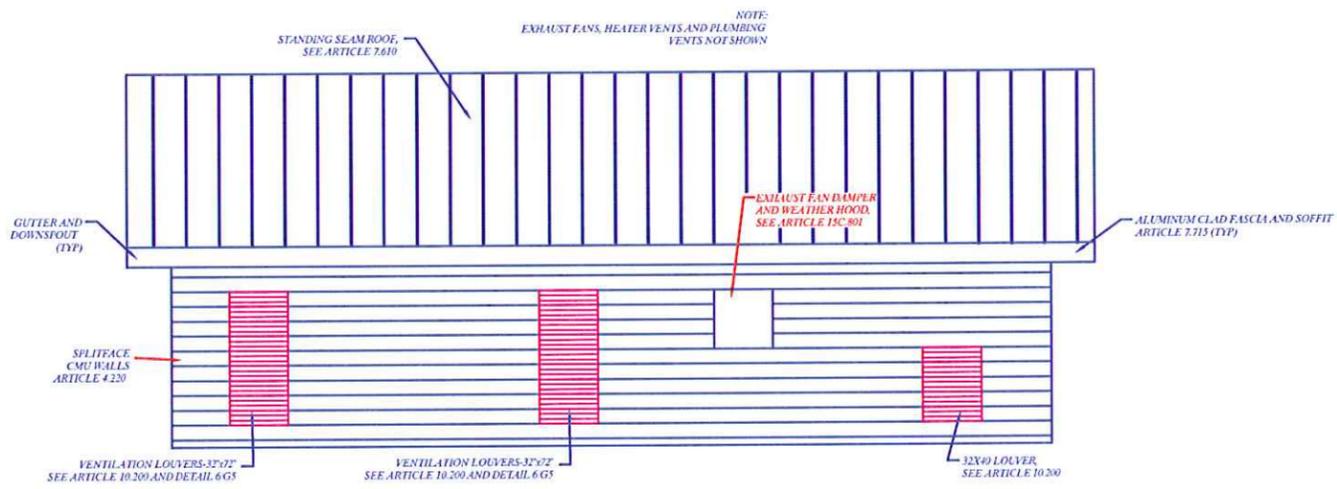
BY	
REVISION	
DATE	
NO.	
Consultant: BURBACH AQUATICS, INC. ARCHITECTS & ENGINEERS 5974 State Highway 90 South - P.O. Box 721 Waupun, WI 53095-0721 PH (608) 785-2200 FAX (608) 785-4470	
PROJECT NO. - NUMBER 1 CAD DWG. FILE - SITEDWG	
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Owner: CITY OF WAUPUN 201 EAST MAIN STREET WAUPUN, WI 53093	
Title:	BATHHOUSE BUILDING ELEVATIONS
Project:	WAUPUN FAMILY AQUATIC CENTER
Date:	7-22-2013
Sheet:	30 OF 51
G4	



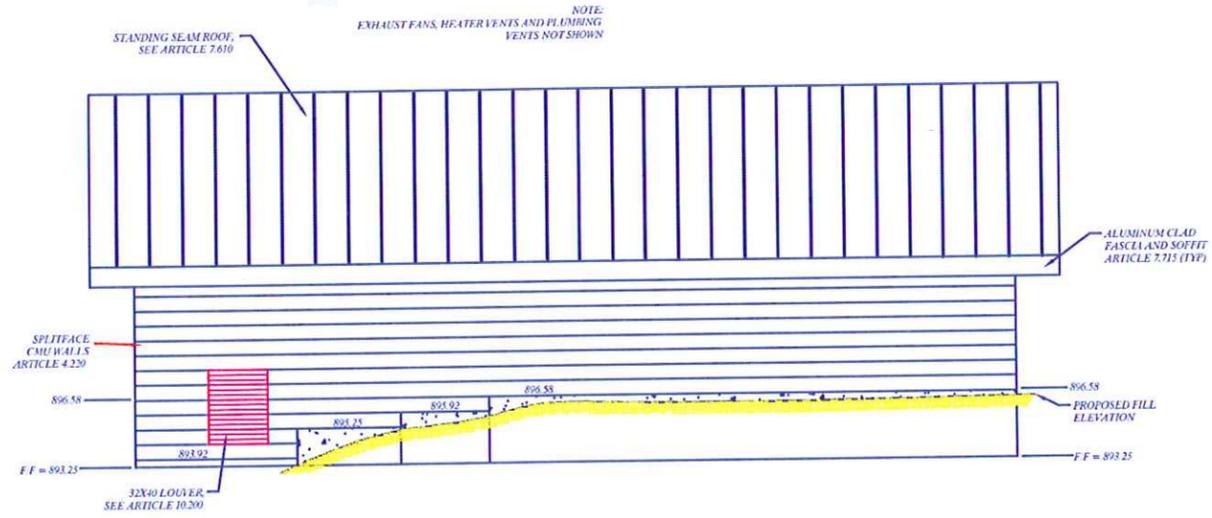
① EAST ELEVATION



② WEST ELEVATION



③ NORTH ELEVATION



④ SOUTH ELEVATION

MECHANICAL BUILDING ELEVATIONS



NO.	DATE	REVISION	BY

PROJECT NO. - NUMBER 1
 CAD DWS. FILE - SITE.DWG

Consultant: **RURBACH AQUATICS, INC.**
 ARCHITECTS & ENGINEERS
 2974 State Highway 48 South - P.O. Box 721
 WAUPUN, WI 53085
 PH (920) 363-2022 FAX (920) 363-4979

Owner: **CITY OF WAUPUN**
 201 EAST MAIN STREET
 WAUPUN, WI 53085

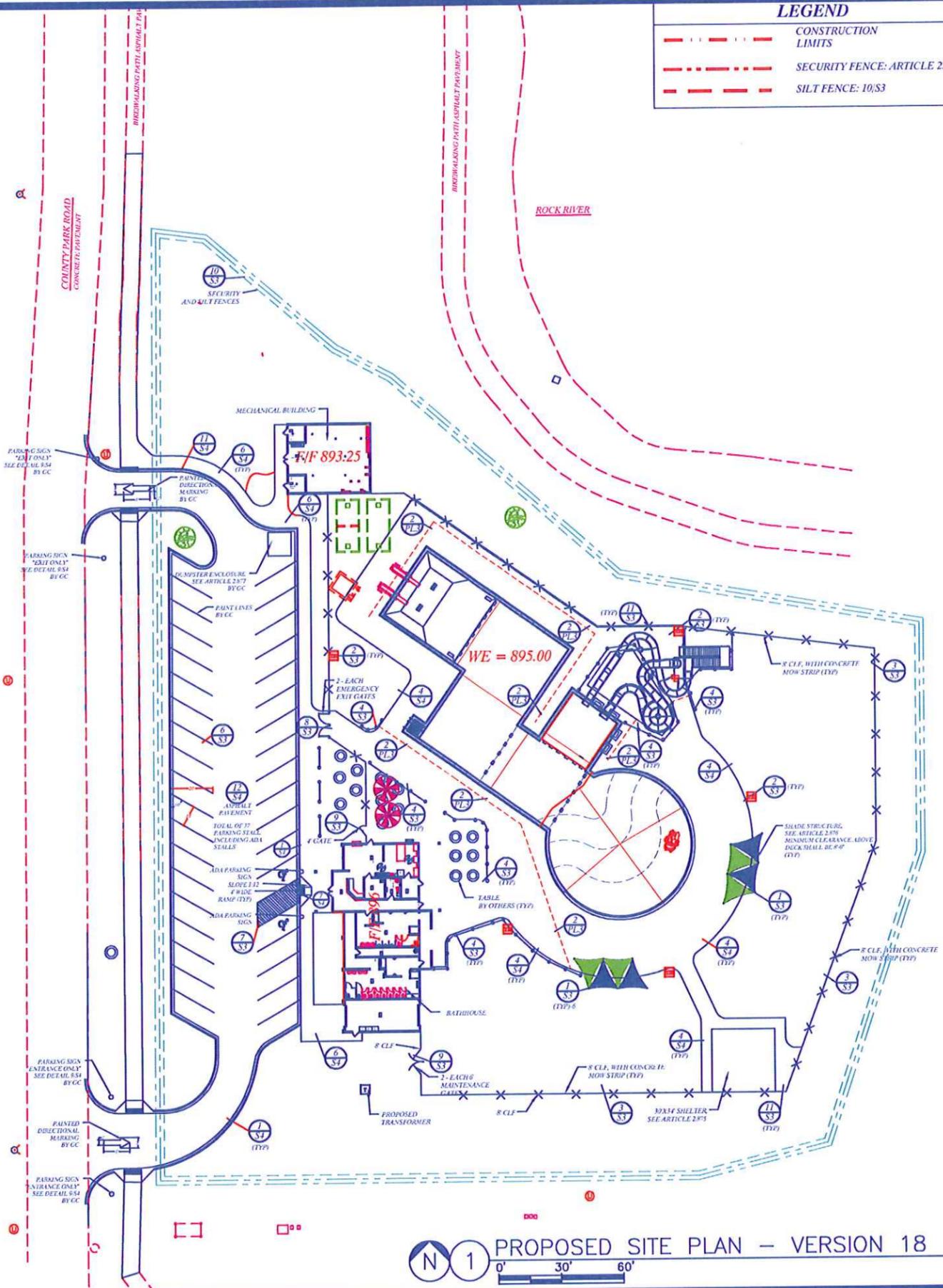
Title: **MECHANICAL BUILDING ELEVATIONS**
 Project: **WAUPUN FAMILY AQUATIC CENTER**

Date: 7-22-2013
 Sheet: 31 OF 51

G4A

LEGEND

	CONSTRUCTION LIMITS
	SECURITY FENCE: ARTICLE 2.820
	SILT FENCE: 10/S3



PROPOSED SITE PLAN - VERSION 18

Scale: 0' 30' 60'

BY	REVISION	NO.	DATE
Consultant: BURBACH AQUATICS, INC. ARCHITECTS & ENGINEERS 2975 State Highway 90 South - P.O. Box 721 Waupun, Wisconsin 53186 Phone: 920.525.1333 FAX: (920) 546-0779			
PROJECT NO. - NUMBER 1 CAD DWG. FILE - SITE/DWG			
Owner: CITY OF WAUPUN 201 EAST MAIN STREET WAUPUN, WI 53186			
Title: PROPOSED SITE PLAN Project: WAUPUN FAMILY AQUATIC CENTER			
Date:	7-22-2013	Sheet:	4 OF 51
S2			

LEGEND FOR FLAT WORK

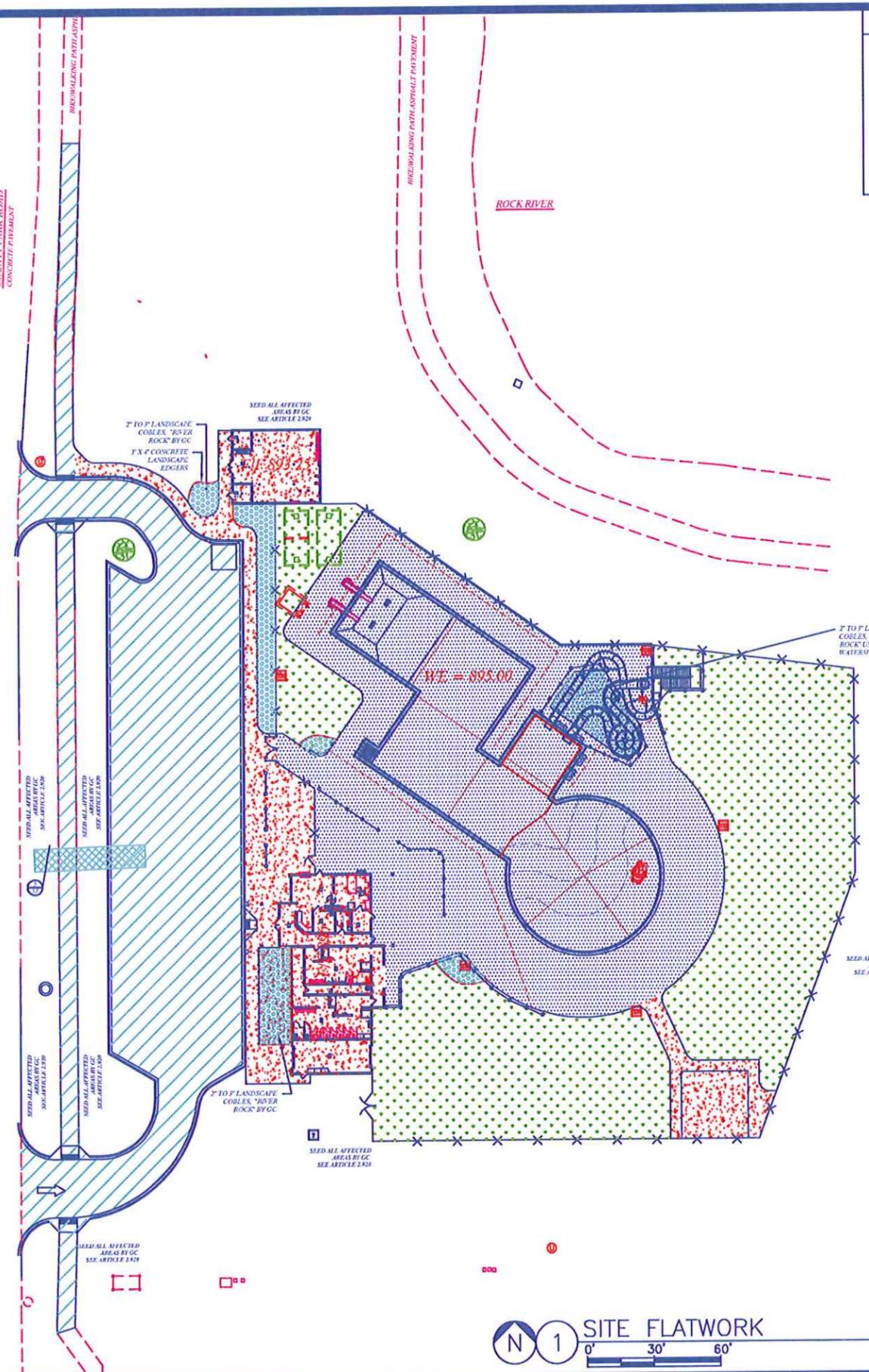
	GC ASPHALT
	PC CONCRETE
	GC CONCRETE
	GC SOD
	CONSTRUCTION ACCESS PAD (S/S)

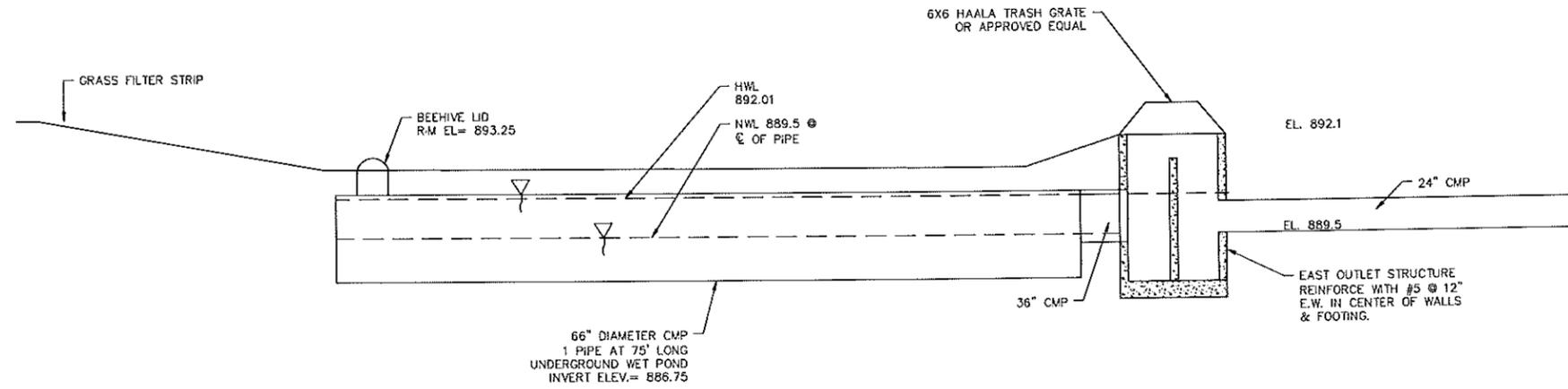
BY	
REVISION	
NO.	
DATE	
PROJECT NO. - NUMBER 1	PROJECT NO. - NUMBER 1
CAD DWG. FILE - SITEDWG	CAD DWG. FILE - SITEDWG
CONSULTANT: BURBACH AQUATICS, INC.	CONSULTANT: BURBACH AQUATICS, INC.
ARCHITECTS & ENGINEERS	ARCHITECTS & ENGINEERS
397 West Fishhawk RD South, P.O. Box 721	397 West Fishhawk RD South, P.O. Box 721
Waupun, Wisconsin 53189	Waupun, Wisconsin 53189
PH (608) 240-5500 FAX (608) 240-4978	PH (608) 240-5500 FAX (608) 240-4978
OWNER:	CITY OF WAUPUN
	201 EAST MAIN STREET
	WAUPUN, WI 53183
TITLE:	SITE FLATWORK
PROJECT:	WAUPUN FAMILY AQUATIC CENTER
DATE:	7-22-2013
SHEET:	7 OF 51
	S5

REPAIR ANY CONCRETE/ASPHALT PAVEMENT, CURB AND GUTTER, AND SIDEWALK DISTURBED BY COMPLETION OF THE WORK REMOVE AND REPLACE WITH SIMILAR PAVEMENT, BY GC REPAIR FLATWORK NOT SHOWN (TYP)

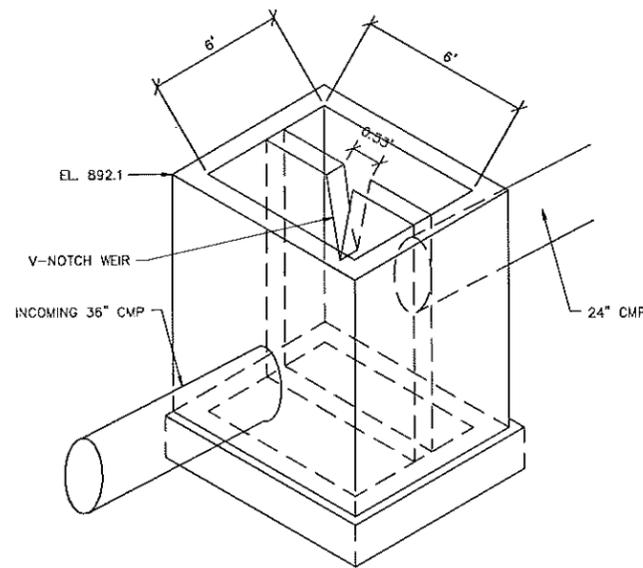


SANITARY EXTENSION TO SOUTH WILL REQUIRE PAVEMENT REPLACEMENT. REPAIR ANY CONCRETE/ASPHALT PAVEMENT, CURB AND GUTTER, AND SIDEWALK DISTURBED BY COMPLETION OF THE WORK REMOVE AND REPLACE WITH SIMILAR PAVEMENT, BY GC REPAIR FLATWORK NOT SHOWN (TYP)

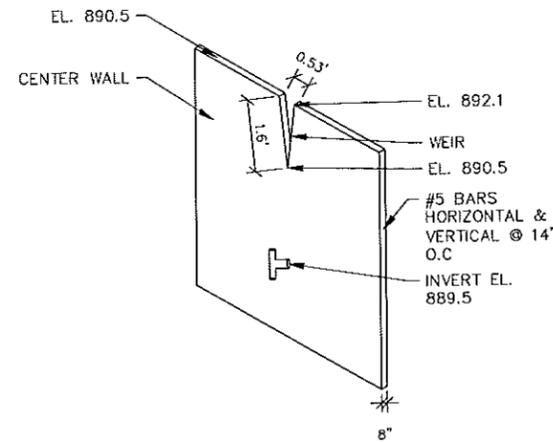




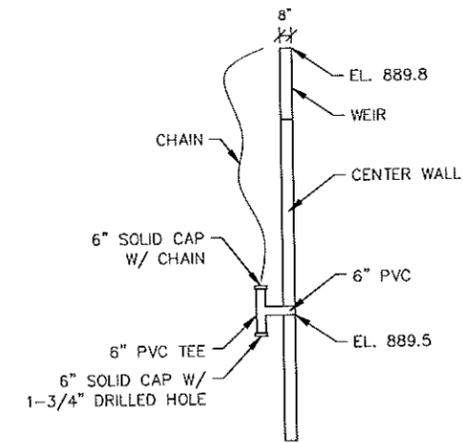
1 EAST POND SECTION
NOT TO SCALE



2 EAST OUTLET STRUCTURE ISOMETRIC DETAIL
NOT TO SCALE



3 EAST DETENTION CENTER WALL ISOMETRIC DETAIL
NOT TO SCALE



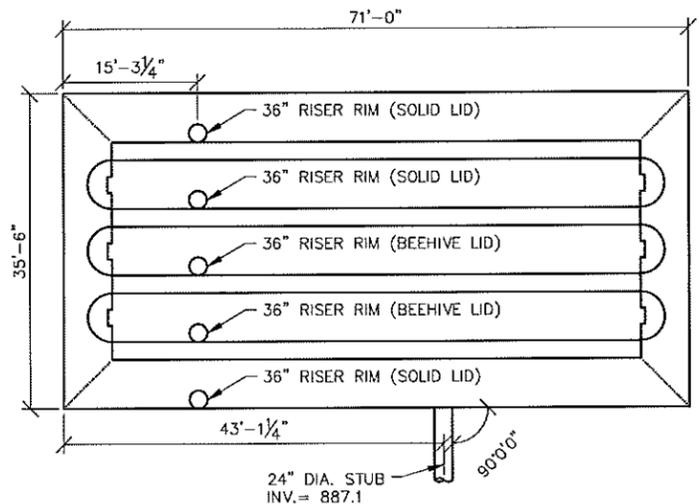
4 EAST DETENTION CENTER WALL SECTION VIEW
NOT TO SCALE

EAST DETENTION DETAILS
WAUPUN FAMILY AQUATIC CENTER

CITY OF WAUPUN
201 EAST MAIN STREET
WAUPUN, WI 53963

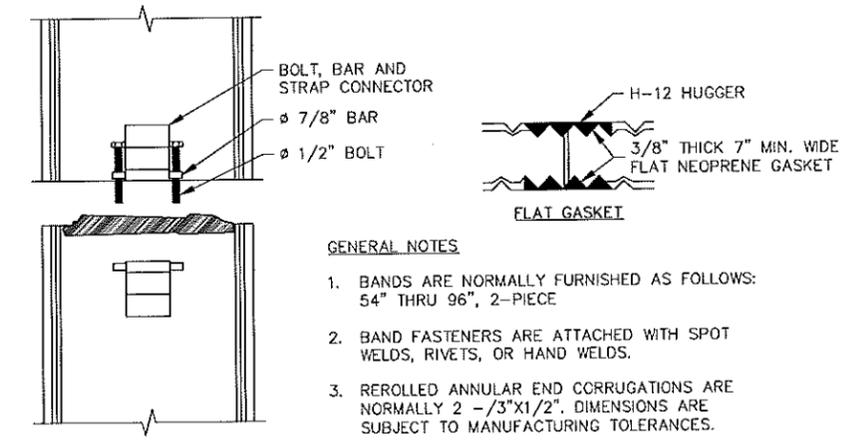
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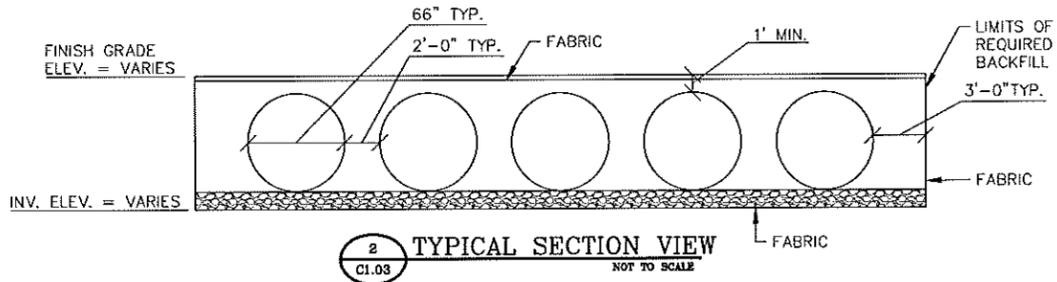
1 DETENTION SYSTEM
CI.03 NOT TO SCALE

- NOTES:
- ALL RISER AND STUB DIMENSIONS ARE ON CENTERLINE.
 - ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
 - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
 - ALL RISERS AND STUBS ARE 2-2/3"x1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
 - ALL 66" DIA PIPE SHALL BE 16 GAGE WITH 3"x1" CORRUGATIONS.
 - RISERS TO BE FIELD TRIMMED TO GRADE.

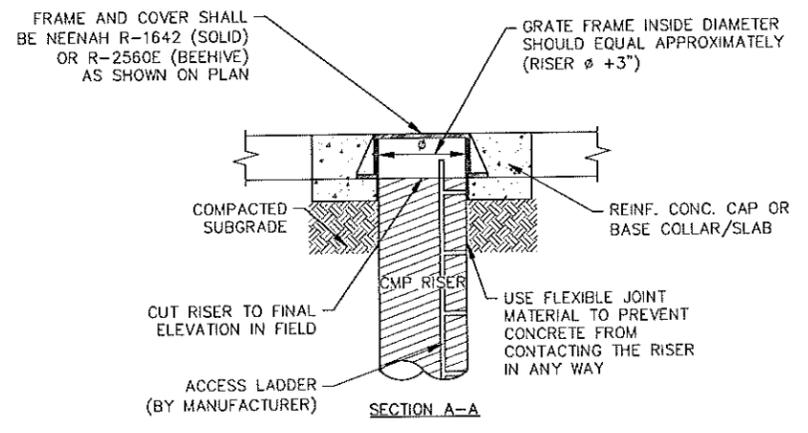


5 H-12 HUGGER BAND DETAIL
CI.03 NOT TO SCALE

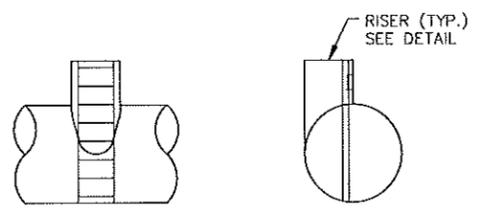
- GENERAL NOTES
1. BANDS ARE NORMALLY FURNISHED AS FOLLOWS: 54" THRU 96", 2-PIECE
 2. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS, OR HAND WELDS.
 3. REROLLED ANNULAR END CORRUGATIONS ARE NORMALLY 2 - 3/8"x1/2". DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.



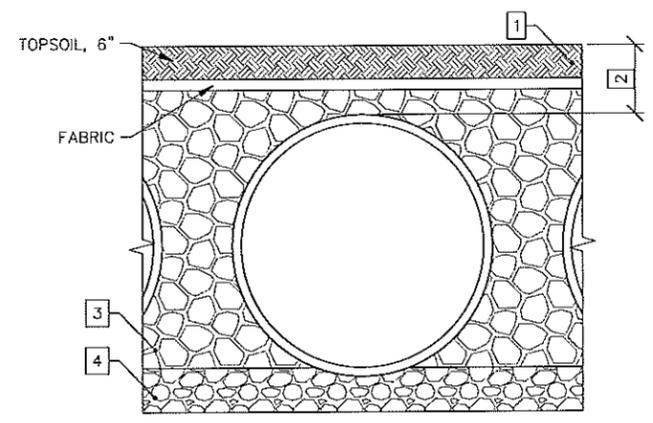
2 TYPICAL SECTION VIEW
CI.03 NOT TO SCALE



SECTION A-A

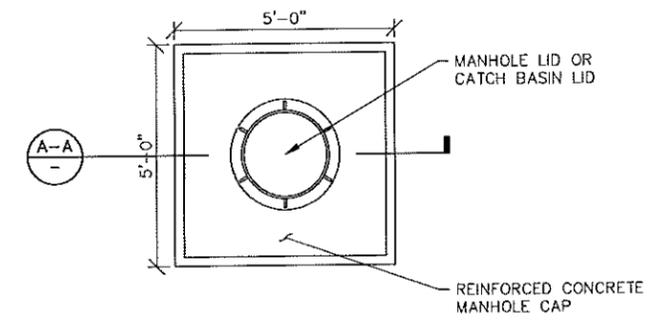


3 TYPICAL RISER DETAIL
CI.03 NOT TO SCALE



4 TYPICAL BACKFILL DETAIL
CI.03 NOT TO SCALE

- KEY
1. TOPSOIL 6"
 2. 12" MIN.
 3. TYPE A GRANULAR MATERIAL PLACED IN 8" LIFTS (COMPACTED TO MIN. 90% STANDARD DENSITY PER AASHTO T99.)
 4. TYPE A GRANULAR BEDDING, ROUGHLY SHAPED TO FIT BOTTOM OF PIPE, 4" TO 6" DEPTH.



6 MANHOLE CAP DETAIL
CI.03 NOT TO SCALE

- NOTES:
1. THE FLEXIBLE JOINT MATERIAL (RECYCLED VINYL OR EQ.) TO BE STIFF ENOUGH SO THAT THE CONCRETE CAN NEVER ENGAGE WITH THE RISER CORRUGATIONS.

FOUNDATION PREPARATION

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER ONCE THE FOUNDATION PREPARATION IS COMPLETE, 4"-6" OF TYPE A GRANULAR MATERIAL SHALL BE PLACED AS THE BEDDING.

BACKFILL

THE BACKFILL SHALL BE TYPE A GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO 90% AASHTO T99 STANDARD PROCTOR DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON THE SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

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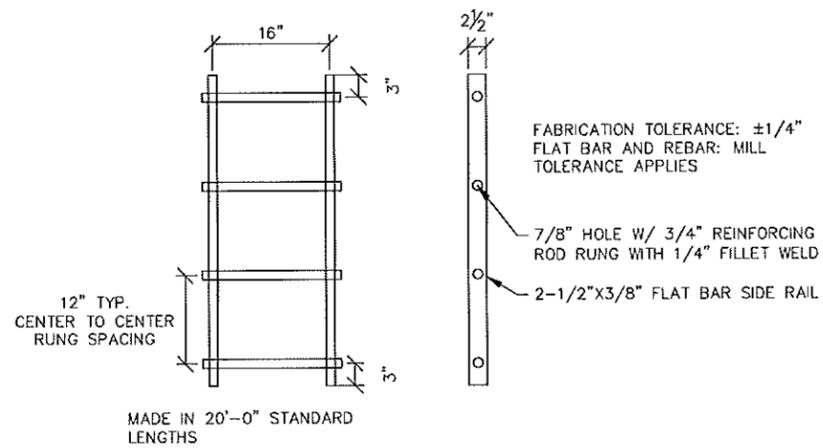
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STORM DETAILS
WAUPUN FAMILY AQUATIC CENTER
CITY OF WAUPUN
201 EAST MAIN STREET
WAUPUN, WI 53963
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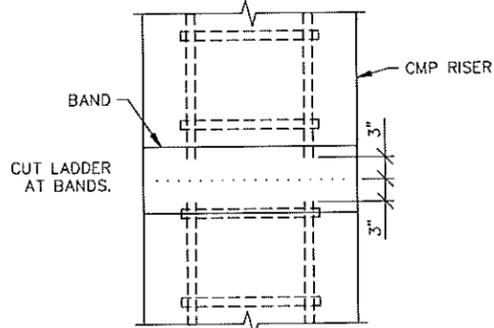
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Project Description: **STORM DETAILS**
Drawing Issue Information: Drawn By: S/C, Project Mgr: CTA, Issued For Construction: ###, Issued For Bidding: 7-22-13

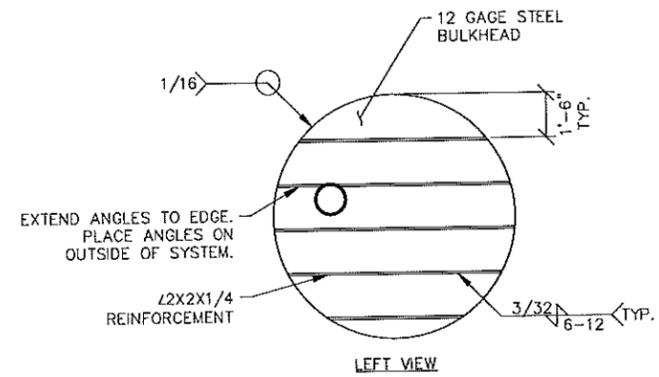
C1.03
IIV Project No: 13151-01



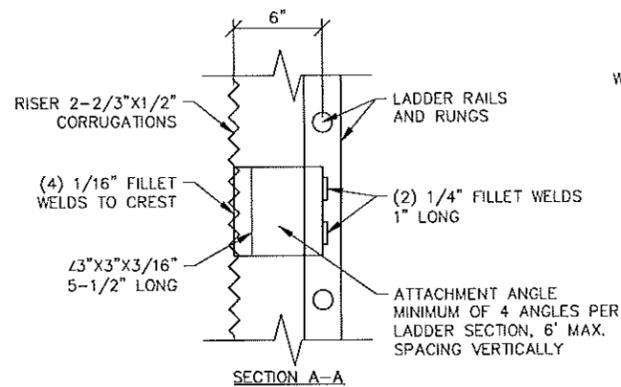
1 STANDARD LADDER DETAIL
C1.04 NOT TO SCALE



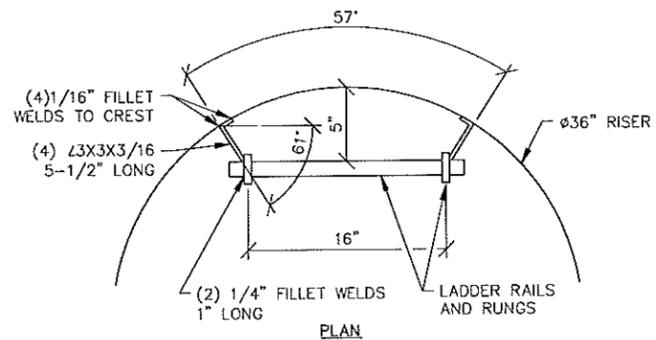
2 STANDARD LADDER DETAIL
C1.04 NOT TO SCALE



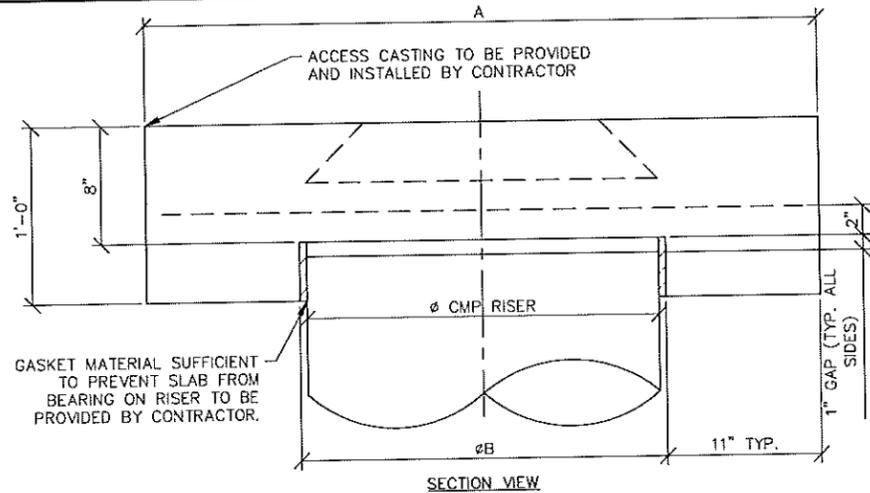
LEFT VIEW



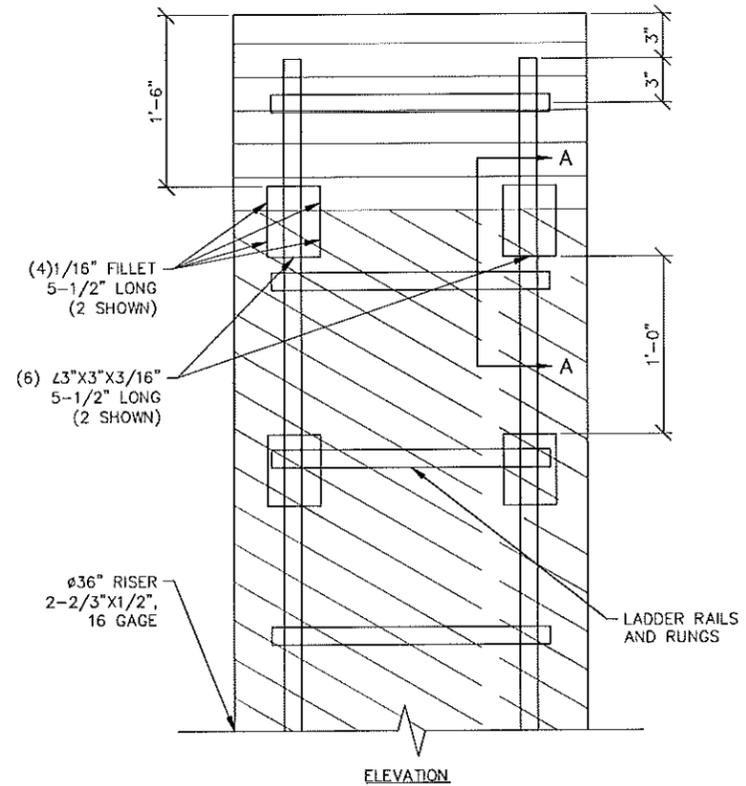
SECTION A-A



PLAN



SECTION VIEW

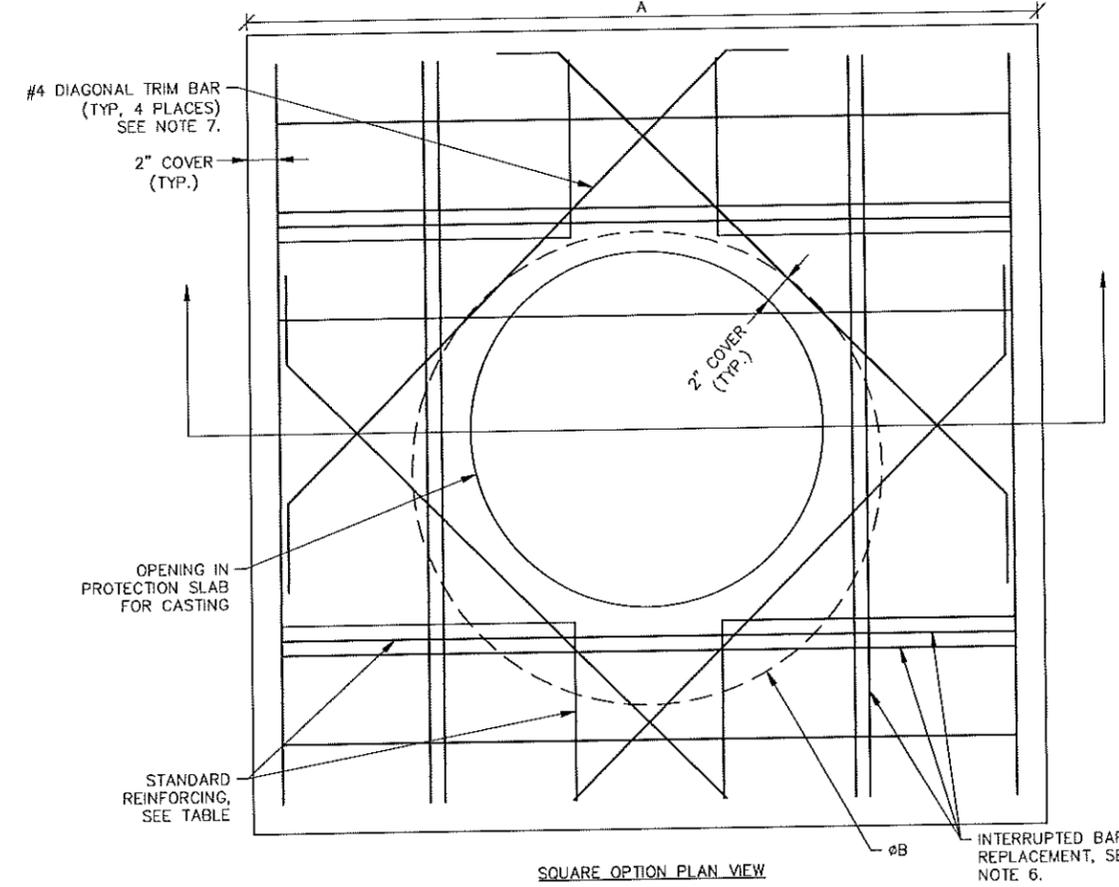


ELEVATION

- NOTES:**
- DESIGN IN ACCORDANCE WITH AASHTO, 17TH EDITION.
 - EARTH COVER = 1' MAX
 - CONCRETE STRENGTH = 3,500 PSI
 - REINFORCING STEEL = ASTM A615, GRADE 60.
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN SAME PLANE.
 - TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

REINFORCING TABLE				
ØCMP RISER	A	ØB	REINFORCING	**BEARING PRESSURE (PSF)
36"	5'x5'		#5 @ 10" OCEW	1,350

3 MANHOLE CAP DETAIL
C1.04 NOT TO SCALE



SQUARE OPTION PLAN VIEW

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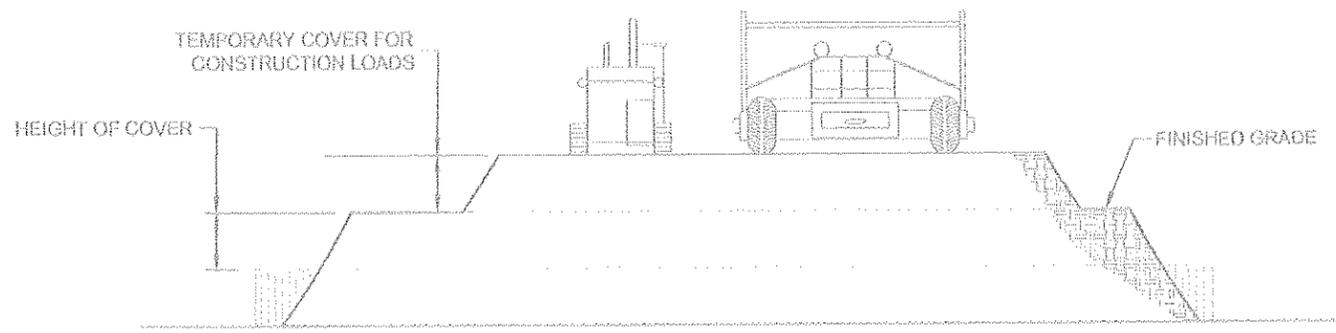
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STORM DETAILS
WAUPUN FAMILY AQUATIC CENTER
CITY OF WAUPUN
201 EAST MAIN STREET
WAUPUN, WI 53983
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Rev	Date	By	Description
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Sheet No: **C1.04**
IHW Project No: 13151-01



CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL

SCOPE

THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

MATERIAL

THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A929.

PIPE

THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M38 OR ASTM A760. THE PIPE SIZES, GAGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

HANDLING AND ASSEMBLY

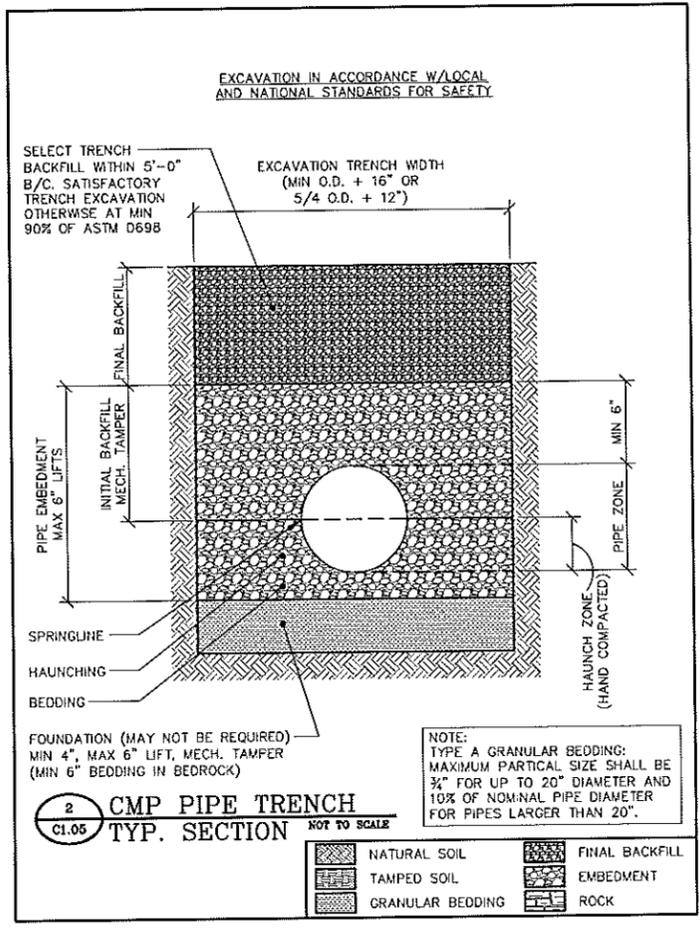
SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSPA).

INSTALLATION

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A798 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

1 CONSTRUCTION LOADING DIAGRAM
C1.05 NOT TO SCALE



2 CMP PIPE TRENCH
C1.05 TYP. SECTION NOT TO SCALE

- NATURAL SOIL
- TAMPED SOIL
- GRANULAR BEDDING
- FINAL BACKFILL
- EMBEDMENT
- ROCK

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STORM DETAILS
WAUPUN FAMILY AQUATIC CENTER

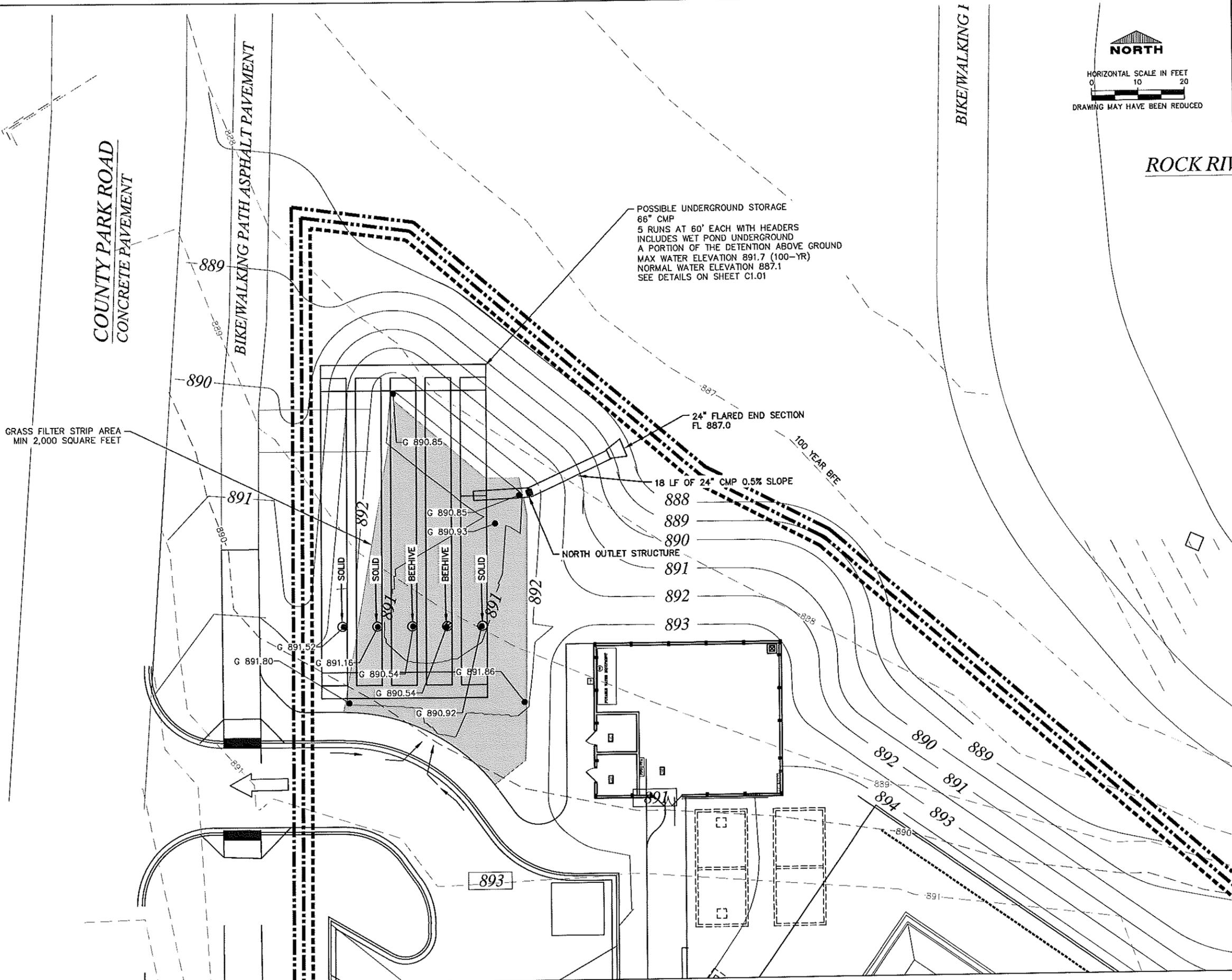
CITY OF WAUPUN
201 EAST MAIN STREET
WAUPUN, WI 53983

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Drawing Issue Information
Project Mgr: CTA
Issued For Bidding: 7-22-13
Drawn By: SJC
Issued For Construction: ###

Sheet No: **C1.05**
IIW Project No: 13151-01



RV, P.C.

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**NORTH STORMWATER MANAGEMENT
 WAUPUN FAMILY AQUATIC CENTER**

CITY OF WAUPUN
 201 EAST MAIN STREET
 WAUPUN, WI 53963

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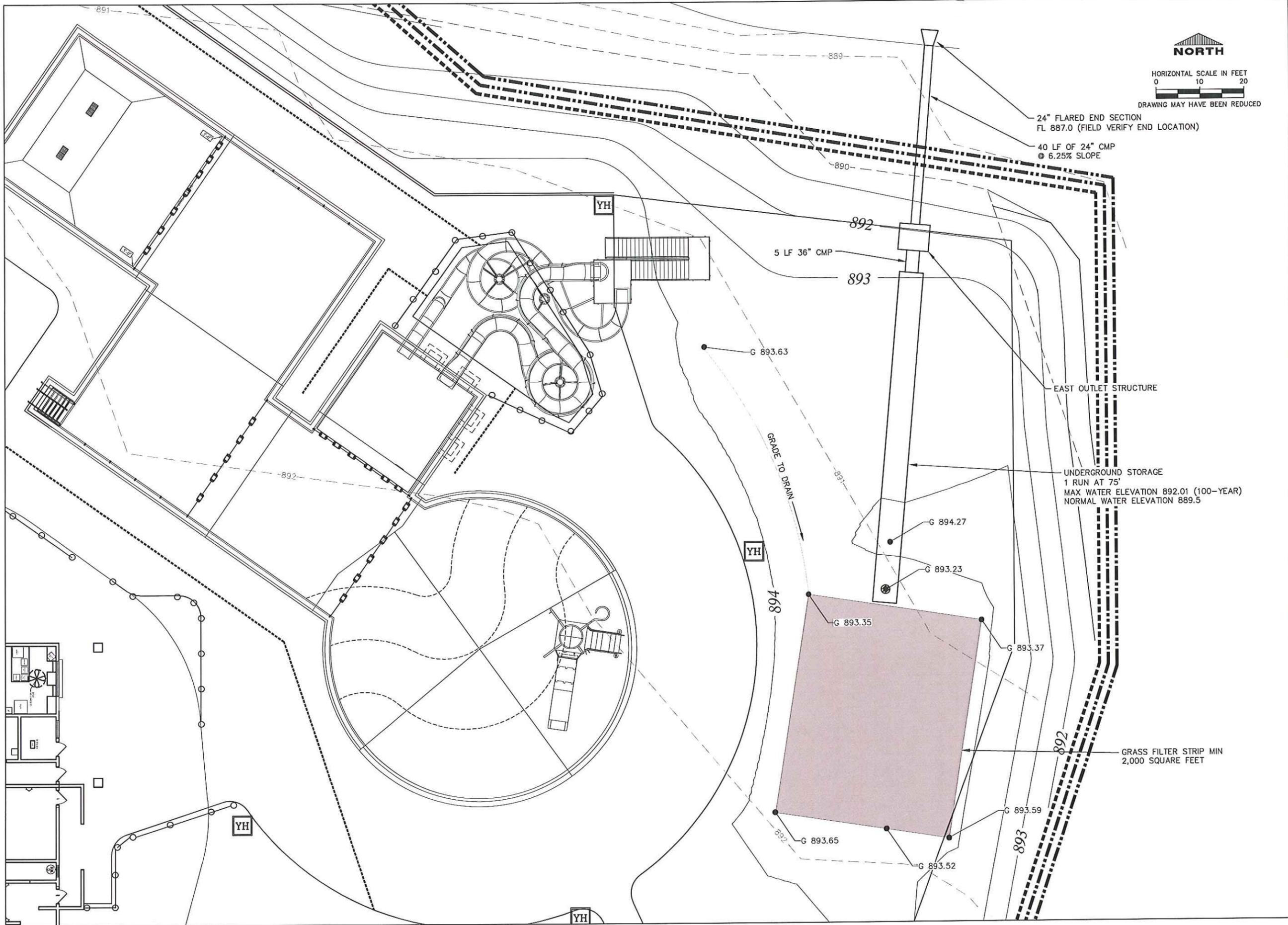
Project Description:

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Drawing Issue Information
 Project Mgr: CTA
 Drawn By: A.J.G
 Issued For Bidding: 7-22-13
 Issued For Construction: ###

Sheet No: **C1.1**

IIW Project No: 13151-01



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**EAST STORMWATER MANAGEMENT
 WAUPUN FAMILY AQUATIC CENTER**
 CITY OF WAUPUN
 201 EAST MAIN STREET
 WAUPUN, WI 53983
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24" FLARED END SECTION
 FL 887.0 (FIELD VERIFY END LOCATION)

40 LF OF 24" CMP
 @ 6.25% SLOPE

5 LF 36" CMP

EAST OUTLET STRUCTURE

UNDERGROUND STORAGE
 1 RUN AT 75'
 MAX WATER ELEVATION 892.01 (100-YEAR)
 NORMAL WATER ELEVATION 889.5

GRASS FILTER STRIP MIN
 2,000 SQUARE FEET

GRADE TO DRAIN

YH

YH

YH

892

893

894

892

893

G 893.63

G 894.27

G 893.23

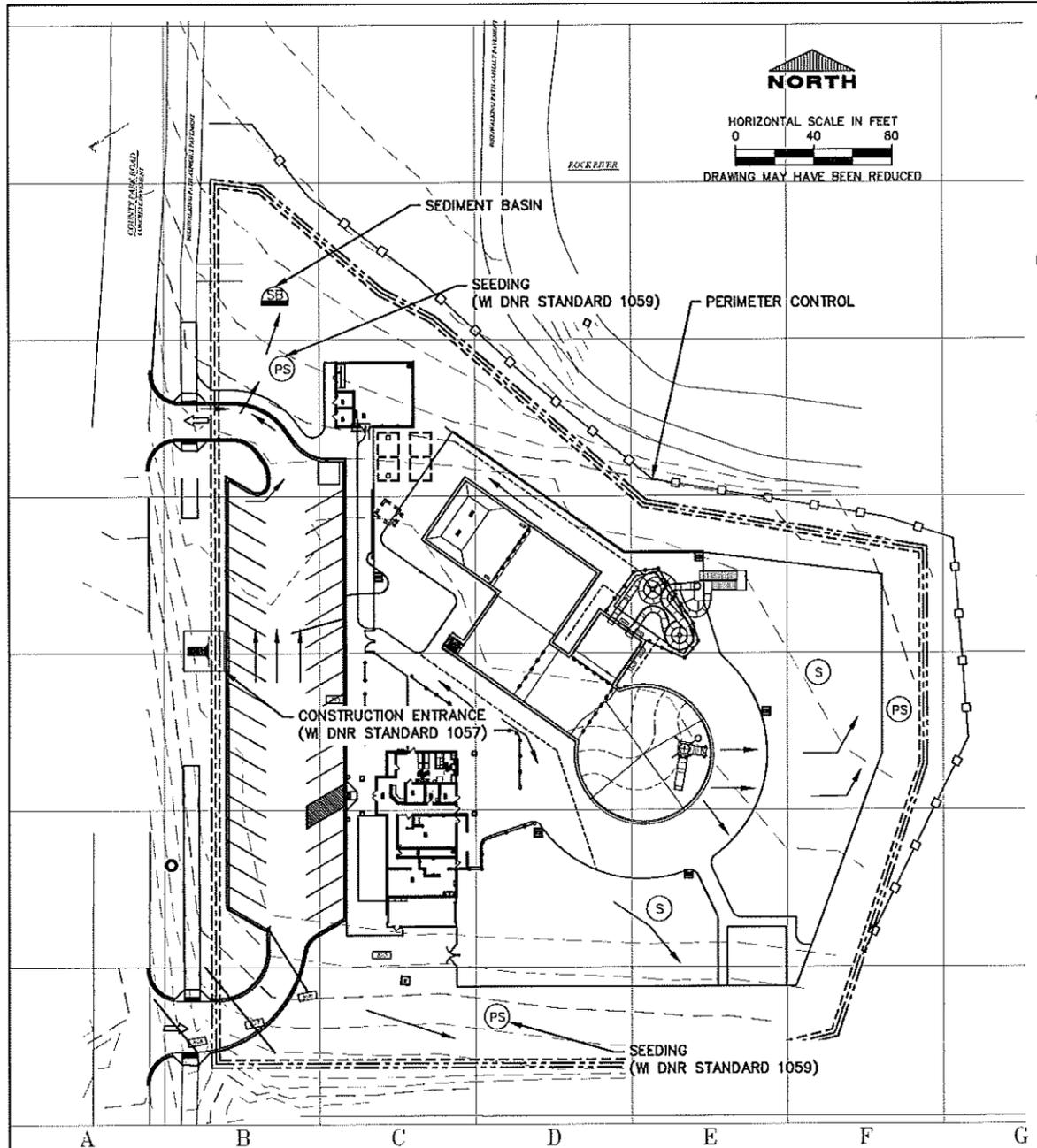
G 893.35

G 893.37

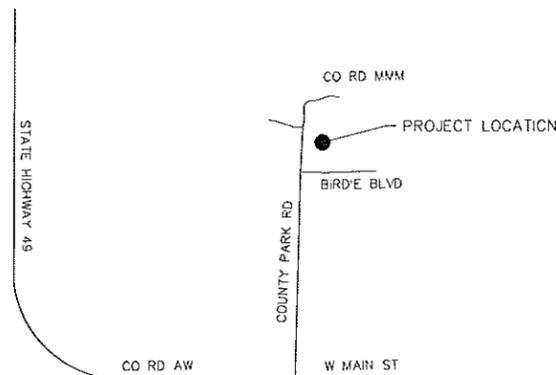
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G 893.52

G 893.59



PROJECT LOCATION MAP



SITE DESCRIPTION

1. THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS FOR CONSTRUCTION ACTIVITIES INCLUDING CLEARING, EXCAVATION AND GRADING, GRADING FOR AQUATIC CENTER CONSTRUCTION, INSTALLATION OF DRAINAGE STRUCTURES, AND PREPARATION FOR SEEDING, LOCATED IN SEC. 31, T.14 N., R.15 E., FOND DU LAC COUNTY, WISCONSIN
2. THIS SWPPP COVERS AN ESTIMATED 2.7 ACRES DISTURBED AREA.
3. THE SWPPP IS LOCATED PRIMARILY IN THE LOMIRA SILT LOAM SOIL. THE ESTIMATED RUNOFF COEFFICIENT (C) FOR THE SITE AFTER COMPLETION WILL BE 0.56.
4. REFER TO THIS SHEET FOR SITE MAP INDICATING DRAINAGE PATTERNS, TYPICAL SLOPES, AREAS OF SOIL DISTURBANCE, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS, ETC.
5. RUNOFF FROM THIS SITE WILL BE DISCHARGED TO THE ROCK RIVER.

CONTROLS

1. PRIOR TO BEGINNING GRADING, EXCAVATION OR CLEARING AND GRUBBING OPERATIONS, SILT FENCE SHALL BE PLACED ALONG THE PERIMETER OF ALL AREAS TO BE DISTURBED AT ANY LOCATION WHERE RUNOFF CAN MOVE OFFSITE.
2. VEGETATION IN AREAS NOT INCLUDED IN THE CONSTRUCTION AREA SHALL BE PRESERVED.
3. AS AREAS REACH THEIR FINAL GRADE, THE LOCATION OF EROSION CONTROLS MAY NEED TO BE CHANGED OR ADDITIONAL CONTROLS MAY NEED TO BE PLACED.
4. OFF-SITE VEHICLE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. ROADWAYS ADJACENT TO THE PROJECT SITE SHALL BE CLEANED OF SEDIMENT DAILY.
5. STABILIZATION PRACTICES, INCLUDING TEMPORARY OR PERMANENT SEEDING AND/OR MULCHING SHALL BE INITIATED ON ALL DISTURBED AREAS AS SOON AS PRACTICAL BUT IN NO CASE WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF 21 OR MORE CALENDAR DAYS LATER THAN THE 14TH DAY AFTER NO CONSTRUCTION ACTIVITY HAS OCCURRED ON SUCH AREA.
6. CONTRACTOR DISPOSAL OF UNUSED CONSTRUCTION MATERIALS AND CONSTRUCTION MATERIAL WASTES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS.
7. STOCKPILE AREAS WHICH REMAIN FOR MORE THAN 7 DAYS SHALL BE SEEDED, MULCHED AND ENCLOSED BY SILT FENCE.
8. SLOPES STEEPER THAN 5:1 SHALL HAVE EROSION MAT CLASS I TYPE A.
9. DUST CONTROL MEASURES SHALL BE EMPLOYED IF DUST IS CREATED AND THERE IS POTENTIAL FOR AIR AND/OR WATER POLLUTION FROM DUST TRANSPORTED BY WINDS. DUST CONTROL MEASURES SUCH AS SPRINKLING/IRRIGATION, MULCHING, OR OTHER APPROPRIATE MEASURES SHALL BE EMPLOYED AS NECESSARY.
10. THE CONTRACTOR SHALL PLACE ANY OTHER CONTROLS AS DESCRIBED IN THE ABOVE NOTED SPECIFICATIONS AS DEEMED NECESSARY TO CONTROL RUNOFF FROM EXPOSED SITES.
11. THE WORK WILL BE COMPLETED WITH THE ESTABLISHMENT OF PERMANENT PERENNIAL VEGETATION WITH A DENSITY OF 70% OR EQUIVALENT STABILIZATION MEASURES ON ALL DISTURBED AREAS.

MAINTENANCE

1. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN PROPER WORKING ORDER, INCLUDING CLEANING, REPAIRING OR REPLACING THEM THROUGHOUT THE CONTRACT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY OR WHEN THE SEDIMENT LEVEL REACHES 1/3 OF THE BARRIER HEIGHT.

INSPECTIONS

1. INSPECTIONS SHALL BE MADE JOINTLY BY QUALIFIED PERSONNEL PROVIDED BY THE OWNER AND THE CONTRACTOR FOR ALL DISTURBED AREAS OF THE SITE NOT FINALLY STABILIZED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT THAT IS 0.5 INCHES OR GREATER.
2. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS SHALL BE INSPECTED FOR EVIDENCE OF POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING PROPERLY. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR OFFSITE SEDIMENT TRACKING. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.
3. THE CONTRACTOR SHALL IMMEDIATELY BEGIN CORRECTIVE ACTION ON ALL DEFICIENCIES FOUND.
4. THIS INSPECTION MAY REQUIRE REVISIONS TO THE DESCRIPTION OF POTENTIAL POLLUTANT SOURCES AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THE PLAN. THE CONTRACTOR SHALL IMPLEMENT ALL REVISIONS TO THE PLAN DEEMED NECESSARY AND COMPLETE SUCH CHANGES TO THE PLAN WITHIN 7 CALENDAR DAYS OF THE INSPECTION.
5. A WRITTEN REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, THE NAMES AND QUALIFICATIONS OF THE INSPECTORS, THE DATE, AND THE OBSERVATIONS MADE AND ACTIONS TAKEN SHALL BE MADE AND RETAINED AS PART OF THE SWPPP. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART VI.G OF THE PERMIT.

EROSION CONTROL LEGEND	
TEMPORARY	PERMANENT
→TD→ DIVERSION	☐ SURFACE ROUGHENING
☐ CONSTRUCTION ENTRANCE (W/ DNR STANDARD 1057)	→CD→→CD→ CHECK DAM
⊙ TS SEEDING (W/ DNR STANDARD 1059)	→SC→→SC→ STONE CHECK
⊙ TM MULCHING (W/ DNR STANDARD 1058)	⊥ LEVEL SPREADER
—CRS— CONSTRUCTION ROAD STABILIZATION	↔SD↔ SLOPE DRAINS
⊙ RD ROCK DAM	⊥RR⊥ RIPRAP LINED CHANNELS
⊙ ST SEDIMENT TRAP (W/ DNR STANDARD 1063)	⊥GL⊥ GRASS LINED CHANNELS (MATERIAL REQ'D)
☐ INLET PROTECTION (W/ DNR STANDARD 1060)	⊙ SB SEDIMENT BASIN
☐ LEVEL SPREADER	→PD→ DIVERSION
⊙ DC DUST CONTROL (W/ DNR STANDARD 1068)	⊙ TOPSOILING
☐ PERIMETER CONTROL (W/ DNR STANDARD 1056 OR 1071)	⊙ PS SEEDING (W/ DNR STANDARD 1064)
	⊙ S SODDING
	⊙ OP OUTLET PROTECTION
	⊙ RS REVETMENT SLOPE PROTECTION

NOTE: PERMANENT MAY BE USED AS TEMPORARY, TEMPORARY SHALL NOT BE USED AS PERMANENT.

GENERAL NOTES

1. ALL CONTRACTORS/SUBCONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT MINIMIZES EROSION AND PREVENTS SEDIMENT FROM LEAVING THE PROJECT SITE. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND IMPLEMENTATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THEIR ENTIRE CONTRACT. THIS RESPONSIBILITY SHALL BE FURTHER SHARED WITH SUBCONTRACTORS WHOSE WORK IS A SOURCE OF POTENTIAL POLLUTION AS DEFINED IN THIS SWPPP.
2. CONTRACTOR SHALL CLEANUP ANY SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE.
3. A "NOTICE OF INTENT FOR NPDES COVERAGE UNDER GENERAL PERMIT NO. 2" HAS BEEN FILED WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
4. NOTICE OF DISCONTINUATION WITHIN 30 DAYS AFTER FINAL STABILIZATION, THE OPERATOR OR OWNER OF THE FACILITY SHALL SUBMIT A NOTICE OF DISCONTINUATION TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
5. NON-STORM WATER DISCHARGES NON-STORM DISCHARGES MAY OCCUR FROM SUBSURFACE DRAINS INCORPORATED INTO THE PROJECT. THESE DISCHARGES WILL BE CONTROLLED BY STABILIZED OUTLETS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF BUILDING AND WASTE MATERIAL.
7. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY APPLICABLE LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATION, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON SAFETY OF PERSONS OR PROPERTY OR THEIR PROTECTION FROM DAMAGE, INJURY OR LOSS.

SEQUENCE

1. INSTALL CONSTRUCTION ENTRANCE
2. PLACE PERIMETER AND DOWNSLOPE CONTROLS
3. PROCEED WITH GRADING AND EXCAVATION
4. COVER OR STABILIZE DISTURBED AREAS AS SOON AS POSSIBLE
5. SEED DISTURBED AREA AS SOON AS POSSIBLE ONCE IT IS BROUGHT TO FINAL GRADE
6. MAINTAIN ALL TEMPORARY PERIMETER CONTROLS UNTIL ALL UPSTREAM AREAS ARE FINALLY STABILIZED.
7. FINAL SLOPE STABILIZATION PRACTICES WILL BE DELINEATED ON FINAL SITE PLAN. EROSION CONTROL MEASURES SHOWN ARE FOR THE DEMOLITION/GRADING PHASE OF THE PROJECT.

UTILITY NOTE

THE LOCATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE UTILITIES PRESENT MAY NOT EXIST AS SHOWN. ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN MAY BE PRESENT. IT SHALL BE THE RESPONSIBILITY OF ANYONE USING THIS DOCUMENT TO ASCERTAIN THE EXACT LOCATION, SIZE, TYPE, MATERIAL, AND ELEVATION OF ALL UTILITIES THAT MAY BE PRESENT.

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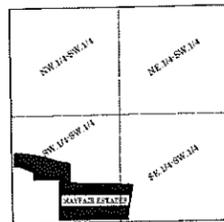
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EROSION CONTROL PLAN
WAUPUN FAMILY AQUATIC CENTER
 CITY OF WAUPUN
 201 EAST MAIN STREET
 WAUPUN, WI 53983

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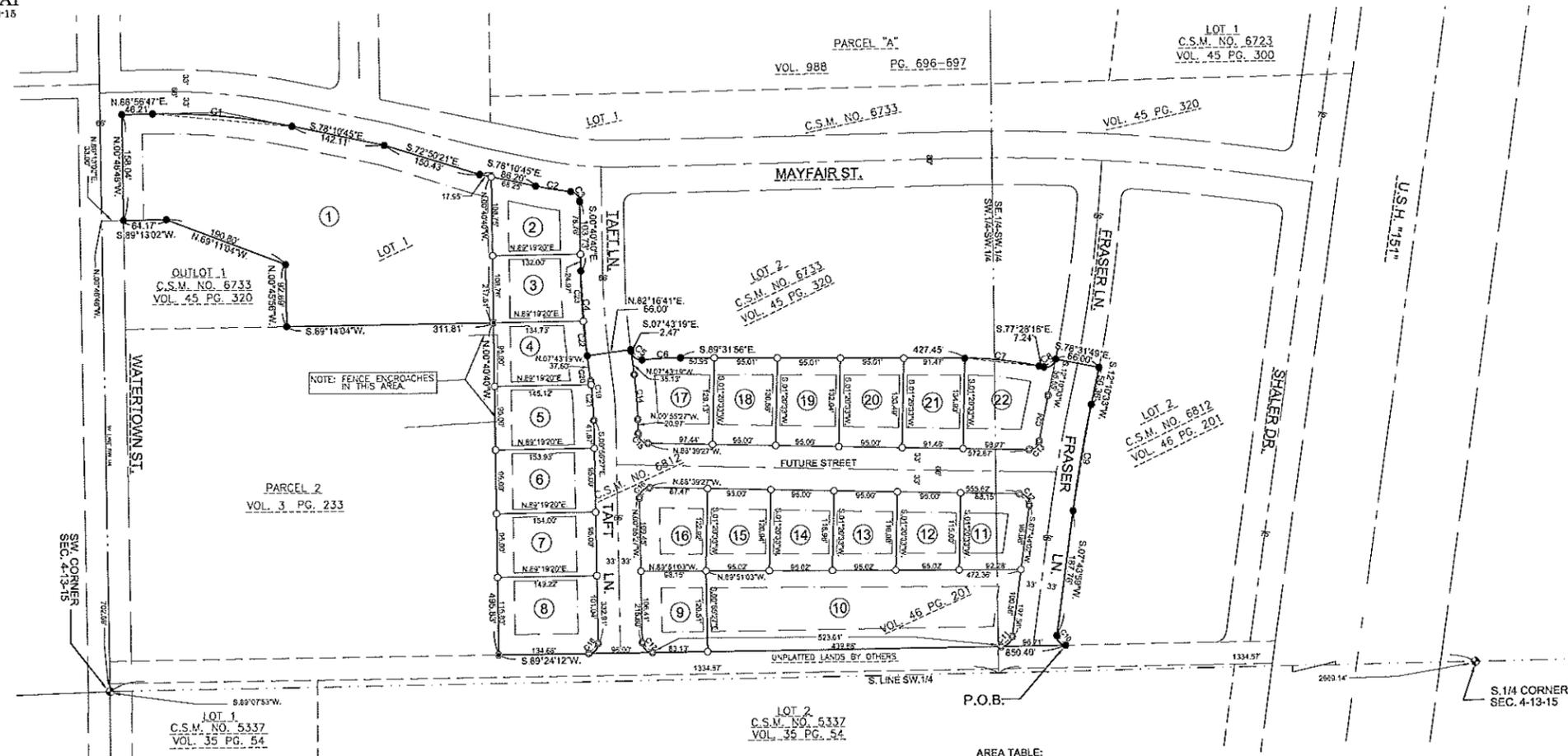
Sheet No: **C2.1**
 IIW Project No: 13151-01



LOCATION MAP
SW 1/4, SECTION 4-13-15
SCALE: 1" = 100'

PRELIMINARY PLAT FOR MAYFAIR ESTATES

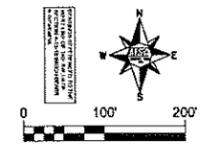
LANDS BEING LOT 1 OF CERTIFIED SURVEY MAP NO. 6812 AS RECORDED IN VOLUME 46 OF CERTIFIED SURVEYS ON PAGES 201-204 IN THE DODGE COUNTY REGISTER OF DEEDS OFFICE AND BEING PART OF THE SW.1/4 OF THE SW.1/4 AND PART OF THE SE.1/4 OF THE SW.1/4 OF SECTION 4, T.13N., R.15E., CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.



SETBACK REQUIREMENTS
(AS PER CURRENT ZONING CODE)

LOTS 2-22	LOT 1
FRONT = 30'	40'
REAR = 25'	20'
SIDE = 6'	20'

ZONING:
LOT 1 = B - 4 / INTERCHANGE
BUSINESS DISTRICT
LOTS 2-22 = R-1



LEGEND

- FD. S.C.A.M.
- FD. 1" IRON PIPE
- FD. 3/4" IRON REBAR
- SET 2-1/4" (O.D.) BY 15" FROM R.O.D.-3.55 LBS./FT.
- SET 3-1/4" (O.D.) BY 15" IRON R.O.D.-1.50 LBS./FT.

CURVE TABLE:

Curve	Delta Angle	Chord Bearing	Radius	Arc Length	Chord Length	Tangent Bearings
C1	12°52'28"	S 84°36'59" E	934.00	209.87	209.43	N 88°56'47" E - S 78°10'48" E
C2	05°14'31"	S 60°48'00" E	580.00	53.08	53.05	S 78°10'45" E - S 83°19'23" E
C3	82°44'36"	S 42°02'58" E	15.00	21.66	19.83	S 83°19'23" E - S 00°40'40" E
C4	07°02'39"	S 04°11'59" E	1033.00	127.00	126.82	S 00°40'40" E - N 07°43'19" W
C5	88°02'35"	S 81°44'36" E	15.00	23.05	20.85	S 07°43'19" E - N 84°20'00" E
C6	06°13'58"	N 87°21'05" E	533.00	57.98	57.95	N 84°20'00" E - S 89°31'55" E
C7	12°03'40"	S 83°30'06" E	533.00	112.20	111.99	S 89°31'55" E - S 77°28'16" E
C8	91°03'33"	N 88°59'57" E	15.00	23.84	21.41	S 77°28'16" E - N 11°33'52" E
C9	04°40'48"	S 10°11'20" W	1867.00	160.68	160.62	S 12°10'33" W - S 07°43'59" W
C10	68°19'48"	S 41°25'55" E	12.96	22.25	19.62	S 07°43'59" W - N 89°24'12" E
C11	81°40'10"	N 48°34'07" E	17.36	24.74	22.70	S 07°43'59" W - S 89°24'12" E
C12	90°30'23"	N 40°24'15" W	15.00	25.27	22.39	N 07°43'59" W - N 88°32'27" E
C13	80°17'48"	N 61°14'07" E	15.00	21.02	19.34	S 07°43'59" W - S 00°55'27" E
C14	06°47'52"	S 04°19'23" E	558.00	67.15	67.11	S 00°55'27" E - S 89°39'27" E
C15	82°44'00"	S 44°47'27" E	15.00	22.97	20.79	S 00°55'27" E - N 68°39'27" E
C16	92°16'00"	S 48°12'33" W	15.00	24.18	21.63	N 68°39'27" E - S 00°55'27" E
C17	89°40'22"	S 45°45'38" E	15.00	23.48	21.15	S 00°55'27" E - S 89°24'12" W
C18	80°19'30"	S 44°14'22" W	14.51	23.51	21.15	S 89°24'12" W - S 89°24'12" W
C19	06°47'52"	N 04°19'23" W	500.00	59.33	59.30	S 89°24'12" W - N 07°43'19" W
C20	00°41'47"	N 07°22'25" W	500.00	6.08	6.08	N 07°43'19" W - N 07°43'19" W
C21	06°06'05"	N 03°58'29" W	500.00	53.25	53.22	
C22	02°52'44"	S 06°16'57" E	1033.00	51.90	51.90	
C23	04°09'55"	N 02°45'38" W	1033.00	75.10	75.08	
C24	01°57'59"	N 11°32'24" E	2033.00	69.77	69.77	S 12°10'33" W - N 07°43'59" E

AREA TABLE:

LOT	SQUARE FEET	ACRES
1	125,147.6	2.8731
2	13,629.8	0.3138
3	13,267.6	0.3058
4	13,255.8	0.3054
5	14,024.8	0.3224
6	14,113.8	0.3244
7	14,152.8	0.3251
8	17,275.6	0.3978
9	11,840.8	0.2724
10	54,421.8	1.2491
11	11,174.8	0.2572
12	11,018.8	0.2538
13	11,205.8	0.2577
14	11,534.8	0.2658
15	11,582.8	0.2668
16	12,417.8	0.2858
17	14,778.8	0.3398
18	12,338.8	0.2838
19	12,474.8	0.2861
20	12,612.8	0.2901
21	12,271.8	0.2821
22	16,042.8	0.3681
TOTAL LOT AREA	440,477.6	10.1128
AREA OF DEDICATION	97,390.8	2.2348
TOTAL AREA	537,868.4	12.3476

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

MSA TRANSPORTATION • MUNICIPAL DEVELOPMENT • ENVIRONMENTAL

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SHEET 1 OF 2
PROJECT NO.: R.00212049.0

